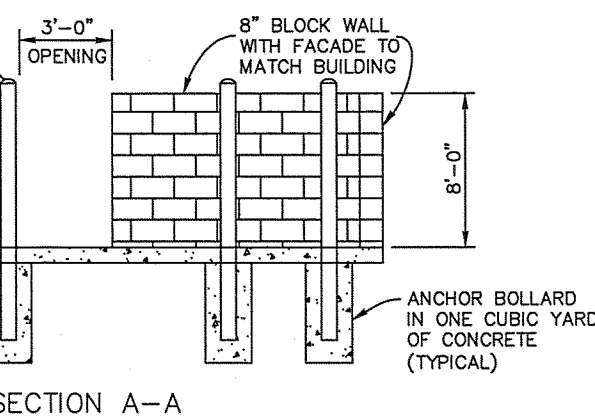
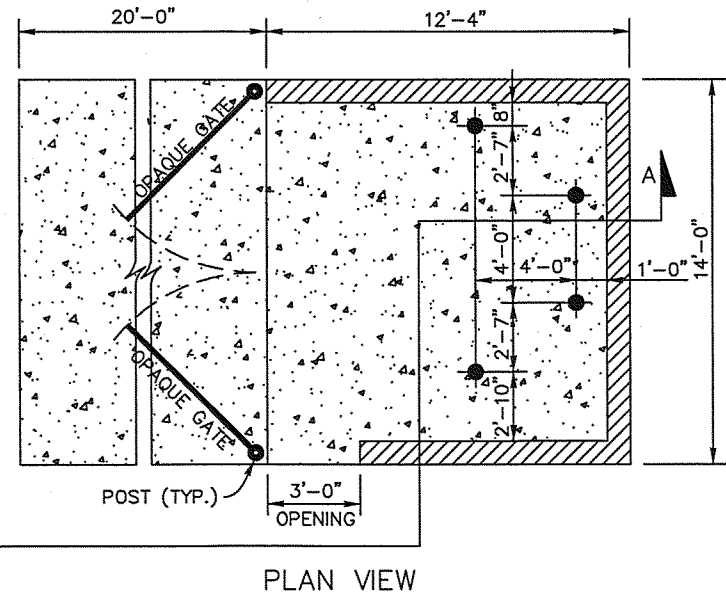


STANDARD MURFREESBORO WATER RESOURCE DEPARTMENT NOTES:

- Complete specifications for the water lines, "Water Line Specifications and Drawings", February 2019 Ed., are on file at the Murfreesboro Water & Sewer Department Engineering Annex and can also be found online at <http://www.murfreesborotn.gov/default.asp?menu=42&id=6123>.
- Complete specifications for the sewer lines, "Sewer Line Specifications and Drawings", February 2019 Ed., are on file at the Murfreesboro Water Resource Department Engineering Annex and can also be found online at <http://www.murfreesborotn.gov/default.asp?menu=42&id=6123>.
- Complete specifications for the repurified water lines, "Repurified Water Specifications and Drawings", February 2019 Ed., are on file at the Murfreesboro Water Resource Department Engineering Annex and can also be found online at <http://www.murfreesborotn.gov/default.asp?menu=42&id=6123>.
- (Water / Sewer / Repurified water) construction must be in accordance with all MWRD specifications and drawings.
- Concerning (water / repurified water) line construction, restraints such as rods or kickers shall be installed at any change in direction where fittings are required, at all dead-ends, and at any location as directed by the Water Resource Department.
- Contractor must have a State of Tennessee license, Municipal Utility (MU) classification, to perform work.
- All main line (water / repurified water) tops will be made by the Murfreesboro Water Resource Department.
- Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- Trench check dams, as called out in the MWRD Specifications, are to be installed at the discretion of the Water Resource Department.
- The existing sewer mains and/or manholes must be (tested / televised) before and after construction. Should the sewer not be (tested / televised) prior to construction any defects found after construction will be the responsibility of the contractor to repair his or her reverse.
- All proposed manholes must be wrapped in a Conesol, or an approved equal, 12" minimum water and soil barrier wrap at each manhole section joint and at any other manhole component as directed by MWRD.
- No more than 25 percent of the dollar amount of the Contract may be awarded to subcontractors.
- A maximum of 2 - 6" (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. If any manhole requires adjustment beyond the 2 - 6" adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.
- All newly constructed sanitary sewer mains, rehabilitated sanitary sewer laterals, existing sanitary sewer mains that interest under or over a newly constructed or removed utility, or any sewer main that has been physically altered in any way must be fully inspected by the City of Murfreesboro (COT) post construction survey fully compliant with the guidelines set forth by the National Sanitary Sewer Company's (NASSCO) Pipeline Assessment Certification Program (PACP) at the expense of the contractor.

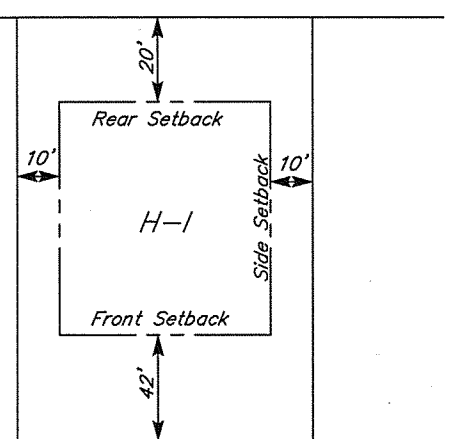
STANDARD CITY OF MURFREESBORO NOTES:

- In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such providers' expense.
- All signage, including flags and flagpoles, is subject to independent review by the Building and Codes Department. All signage must conform to their requirements and require separate sign permits.
- A Land Disturbance Permit may be required. Determination whether a Land Disturbance Permit is required shall be made by the City Engineer. A separate Land Disturbance Permit application shall be made with the office of the City Engineer for review and upon approval for issuance of a Land Disturbance Permit.
- For all developments of more than one acre, a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the office of the City Engineer prior to construction commencement.
- Contractor to coordinate with the Traffic Engineer in the City Transportation Department prior to commencement of work in this area to avoid damage to traffic signal devices.
- A "DOT" permit may be required. Evidence of "DOT" approval is required prior to the issuance of any building permits.
- A Stormwater Management Plan demonstrating that the site provides for treatment of the water quality volume and provides for management of the streambank protection volume must be provided.
- An Engineers Certification of the construction of the stormwater management facilities must be provided to the City Engineer prior to issuance certificate of occupancy.
- A Stormwater Fee Credit Application must be submitted prior to the issuance of a building permit.
- A Stormwater Facilities Operation and Maintenance Plan and a Stormwater Facilities Maintenance Agreement must be submitted prior to issuance of a building permit.
- The Stormwater Facilities Maintenance Agreement must be recorded prior to certificate of occupancy.
- Parking lot striping must be white and in conformance with MUTCD.

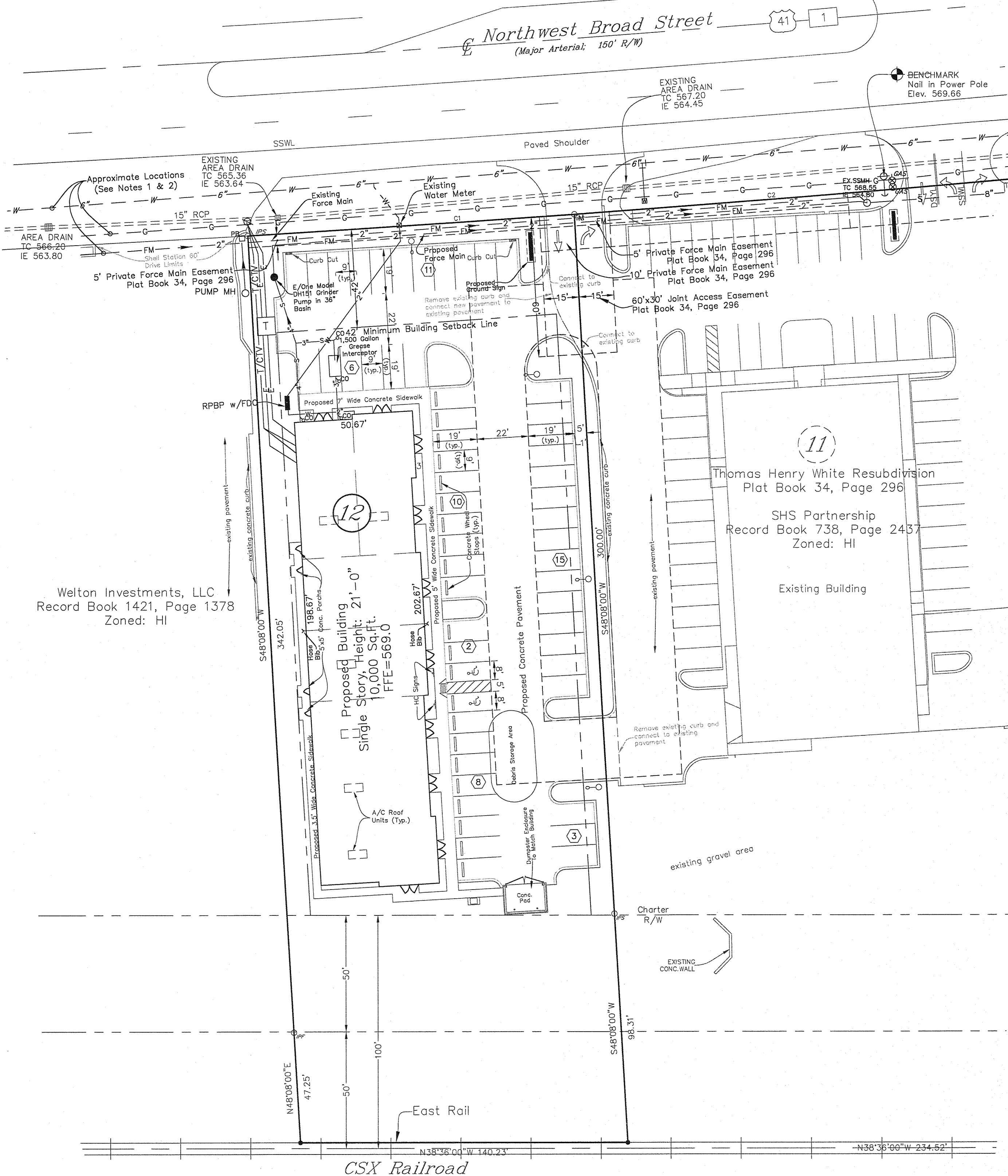


ENCLOSED DUMPSTER PAD w/ WALK THRU & GATE
N.T.S.

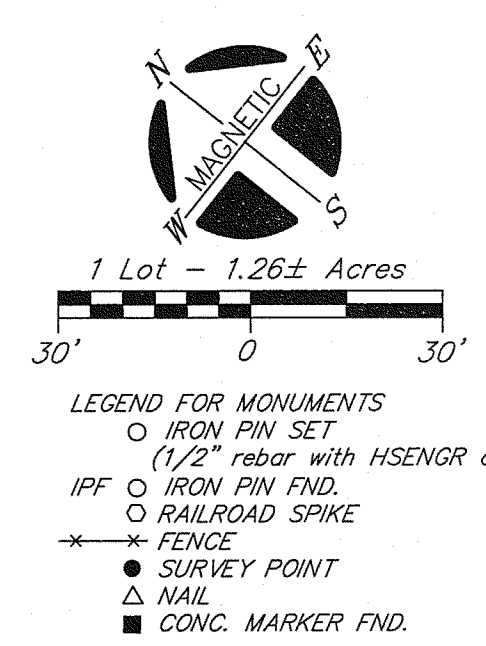
ZONING: H-1
FRONT SETBACK: 42'
SIDE SETBACK: 10'
REAR SETBACK: 20'
MAX HEIGHT: 75'



NOTE: MAXIMUM AREA OF THIS COMMERCIAL CENTER THAT CAN BE DEDICATED TO RESTAURANT USE PER THE CITY OF MURFREESBORO ZONING ORDINANCE IS 35% OR 3,317 SQUARE FEET.



SITE DATA
LOT SIZE: 55,113 Sq.Ft. = 1.26± Acres
EXISTING IMPERVIOUS AREA = 41,700 Sq.Ft.
PROPOSED IMPERVIOUS AREA = 28,515 Sq.Ft.
PROPOSED BUILDING SIZE: 9,479 Sq. Ft.
PROPOSED USE: Commercial Center
MAXIMUM RESTAURANT US (BY DEFINITION)=35%= 3,317 SF
HEIGHT OF PROPOSED STRUCTURE= 1 STORY/21'=0"
PARKING REQUIRED: 45 Spaces (10,000 Sq.Ft./ 225)
PARKING PROVIDED: 55 Spaces plus 2 Handicap = 57 Total Spaces
TOTAL LOT COVERAGE = 28,515 Sq.Ft. (51.74%)
OPEN SPACE RATIO: OPEN SPACE / FLOOR AREA = 45,113 Sq.Ft./10,000 Sq.Ft. = 4.34
: % OPEN SPACE= 21.374 S.F./55,113 S.F.=38.8%
: OPEN SPACE INCLUDES THE AREA SOUTHWEST OF DUMPSTER, AREA ON NORTHWEST SIDE OF THE BUILDING, AND LANDSCAPE STRIP ON SOUTH PROPERTY LINE
FLOOR AREA RATIO: FLOOR AREA / GROSS LAND AREA = 10,000 Sq.Ft./55,113 Sq.Ft. = 18.14%
LIVABILITY SPACE RATIO: LIVABILITY SPACE / FLOOR AREA = 26,598 Sq.Ft./10,000 Sq.Ft. = 2.66

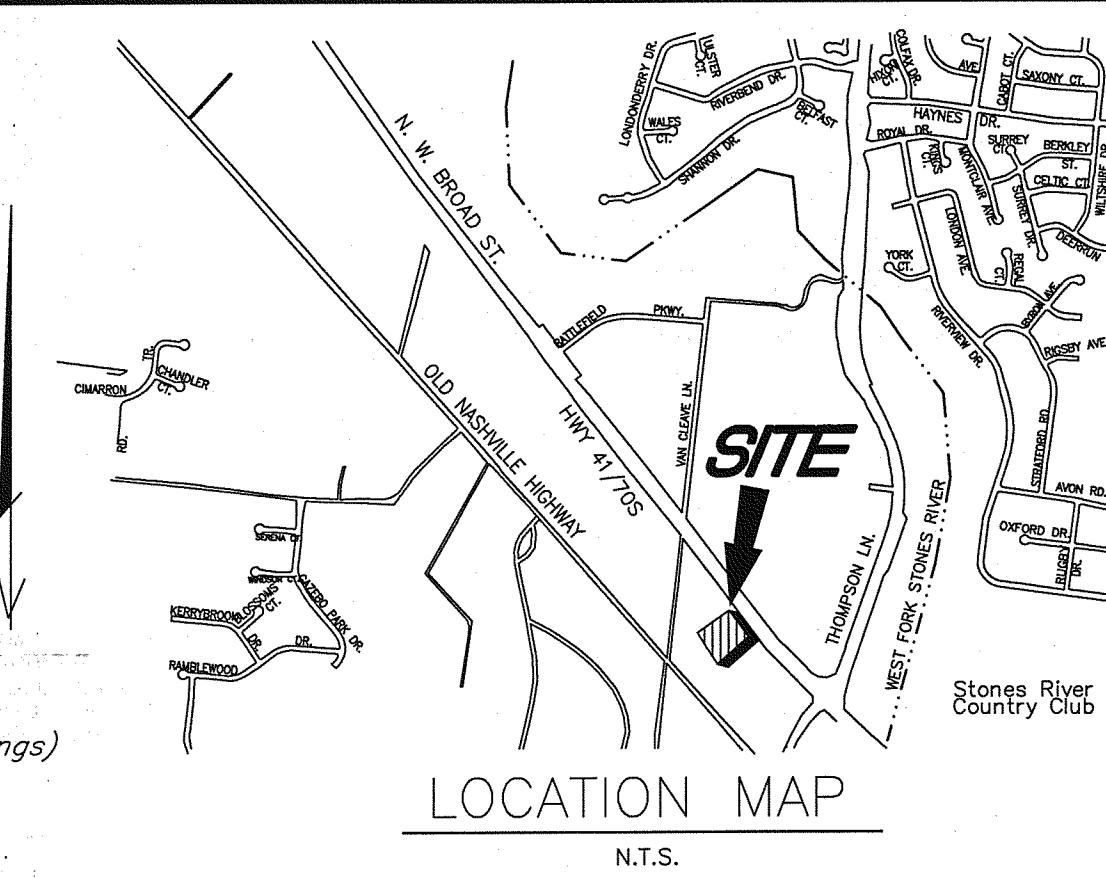


OWNER/DEVELOPER: Scott Simmons
ADDRESS: P. O. Box 331093
Murfreesboro, TN 37133
Tax Map 79, Parcel 40.02
Record Book 1831, Page 2557
Plat Book 34, Page 296

THIS PARCEL IS NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD AREA" ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD MAP PANEL: 470168-145H, ZONE: X, DATED: JANUARY 5, 2007

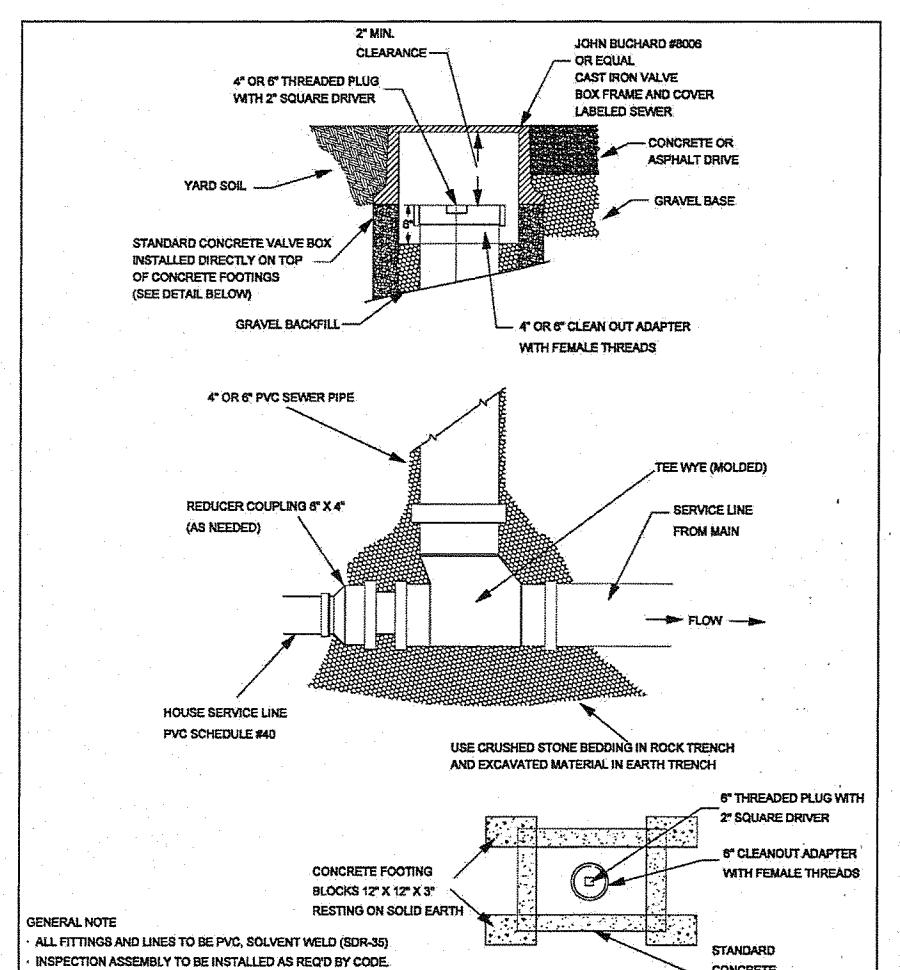
LEGEND

- Existing Power Pole
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Reducer
- Proposed Gate Valve & Box
- Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- Proposed Spot Elevations
- Proposed Spot Elevations
- Proposed Light Pole
- Proposed Water Meter
- Proposed Irrigation Meter
- SSWL Single Solid White Line (Pavement Markings)
- Proposed M.T.E. Transformer
- Proposed M.T.E. Pull Box
- Proposed Underground Electric
- Existing Tree as Noted
- Proposed Underground Telephone/ Cable TV Service
- Proposed Underground Electric Service

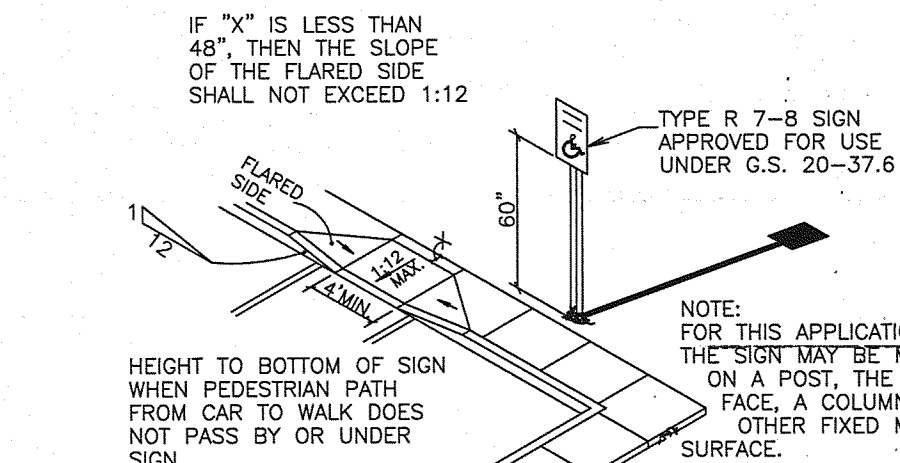


PLAN NOTES

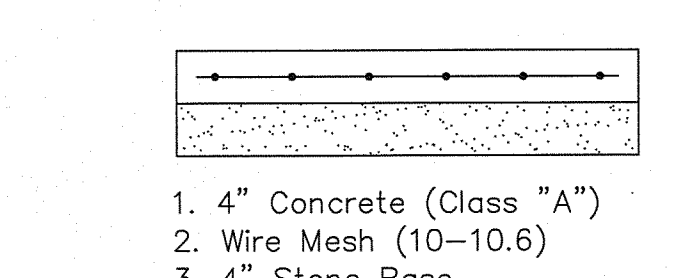
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements shown hereon are intended to indicate an assessment for construction, operation, and maintenance of public utilities and drainage ways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone lines, conduits, electric conductors, drainage pipes, and natural gas lines. Easements in this subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot owners of this construction.
- A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.
- An erosion prevention and sediment control plan will be required with an application for a Land Disturbance Permit. This plan will include a temporary sediment basin.
- Construction Plans will be subject to review and approval by the City Engineer and Murfreesboro Water and Sewer Department.
- Final approval subject to approval of construction drawings and hydraulic calculations by M.W.S.D.
- For the City of Murfreesboro, under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the property owner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or property owner shall be responsible for compliance with this requirement.
- Per the City of Murfreesboro, both DOT and City Right-of-Way permits will be required for this project.
- Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond should be submitted in the name of the property owner of record or a lease holder who has ten (10) years or more remaining on a current lease. The property owner/lease holder should allow adequate time to obtain the bond as this process may be lengthy and may delay the issuance of the Certificate of Occupancy.
- Per the City of Murfreesboro, a Release & Covenant Not to Sue must be executed and recorded.



EXTERIOR SEWER SERVICE CLEANOUT DETAIL
N.T.S.



H.C. SIGN AND RAMP DETAILS
N.T.S.



SIDEWALK DETAIL
N.T.S.

- 4" Concrete (Class "A")
- Wire Mesh (10-10.6)
- 4" Stone Base

Planning Department approval of this site plan, may or may not adequately reflect the latest requirements and/or plans approved by Murfreesboro Water Resources Department (MWRD). This also applies to site plans that are included in the building permit set. Contractor must verify with MWRD that they are using approved Utility Plans.

#	DATE	REVISION DESCRIPTION
0	09-12-19	Original Issue
1	10-02-19	Revised per Staff Comments
2	12-11-20	Revised per Prior to Permit Comments
3	07-22-21	Revised per Planning and MWRD Comments
4	08-11-21	Revised per M.T.E. Comments
5	08-27-21	Revised per Staff Comments
6	09-21-21	Revised per MWRD Comments

STEPHEN A. STEELE
REGISTERED PROFESSIONAL ENGINEER
COMMERCIAL
LICENSE NO. 1867
STATE OF TENNESSEE

SHUDDLESTON-STEEL ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE : 893 - 4084, FAX: 893 - 0080

SITE PLAN
Simmons Retail Center
2121 Northwest Broad
Murfreesboro, TN
Lot 12, Thomas Henry White Farm Subdivision
13th Civil District of Rutherford County, Tennessee

Date: August, 2019 Scale: 1"=30' Sheet 1 of 4

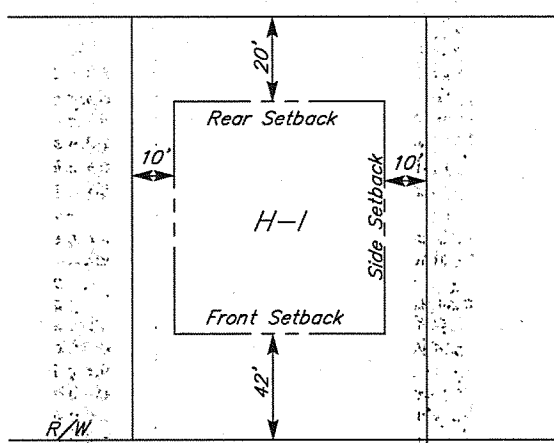
STANDARD MURFREESBORO WATER RESOURCE DEPARTMENT NOTES:

1. Complete specifications for the water lines, "Water Line Specifications and Drawings", February 2019 Ed., are on file at the Murfreesboro Water & Sewer Department Engineering Annex and can also be found online at <http://www.murfreesborotn.gov/default.aspx?ekmenu=42&id=6123>.
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4. (Water / Sewer / Repurified water) construction must be in accordance with all MWRD specifications and drawings.
5. Concerning (water / repurified water) line construction, restraints such as rods or kickers shall be installed at any change in direction where fittings are required, at all dead-ends, and at any location as directed by the Water Resource Department.
6. Contractor must have a State of Tennessee license, Municipal Utility (MU) classification, to perform work.
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8. Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casing elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
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10. The existing sewer mains and/or manholes must be (tested / televised) before and after construction. Should the sewer not be (tested / televised) prior to construction any defects found after construction will be the responsibility of the contractor to repair at his or her expense.
11. All proposed manholes must be wrapped in a Conosol, or an approved equal, 12" minimum water and soil barrier wrap at each manhole section joint and at any other manhole component as directed by MWRD.
12. No more than 25 percent of the dollar amount of the Contract may be awarded to subcontractors.
13. A maximum of 2 - 5" (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. If any manhole requires adjustment beyond the 2 - 5" adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.
14. All newly constructed sanitary sewer mains, rehabilitated sanitary sewer laterals and mains, existing sanitary sewer mains that intersect under or over a newly constructed or removed utility, or any sewer main that has been physically altered in any way must be fully televised via an in-line Closed Circuit Television (CCTV) post construction survey fully compliant with the guidelines set forth by the North American Sanitary Sewer Company's (NASSCO) Pipeline Assessment Certification Program (PACP) at the expense of the contractor.

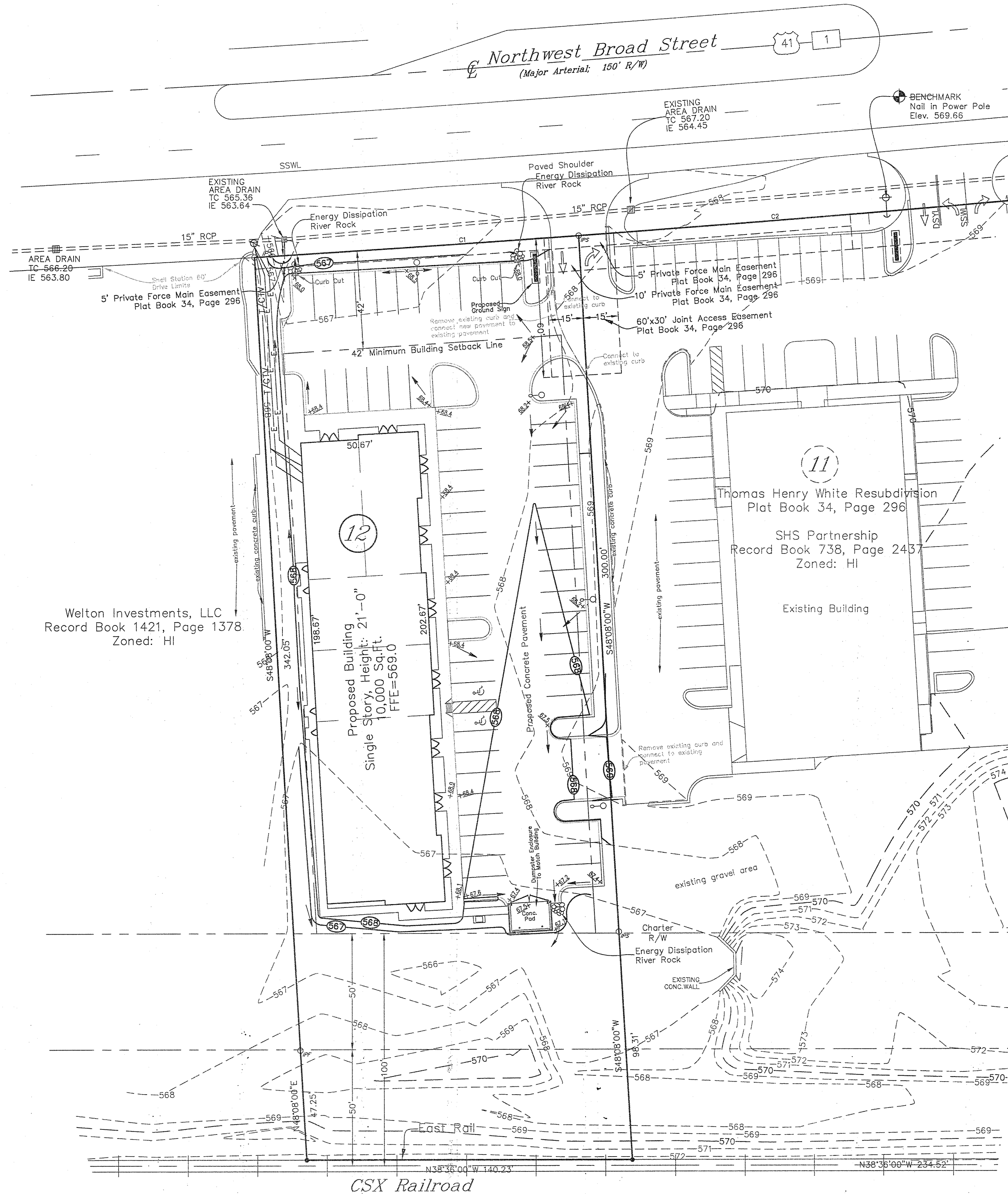
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6. A TDO permit may be required. Evidence of TDO approval is required prior to the issuance of any building permits.
7. A Stormwater Management Plan demonstrating that the site provides for treatment of the water quality volume and provides for management of the streambank protection volume must be provided.
8. An Engineers Certification of the construction of the stormwater management facilities must be provided to the City Engineer prior to issuance certificate of occupancy.
9. A Stormwater Fee Credit Application must be submitted prior to the issuance of a building permit.
10. A Stormwater Facilities Operation and Maintenance Plan and a Stormwater Facilities Maintenance Agreement must be submitted prior to issuance of a building permit.
11. The Stormwater Facilities Maintenance Agreement must be recorded prior to certificate of occupancy.
12. Parking lot striping must be white and in conformance with MUTCD.

ZONING: H-1
FRONT SETBACK: 42'
SIDE SETBACK: 10'
REAR SETBACK: 20'
MAX HEIGHT: 75'

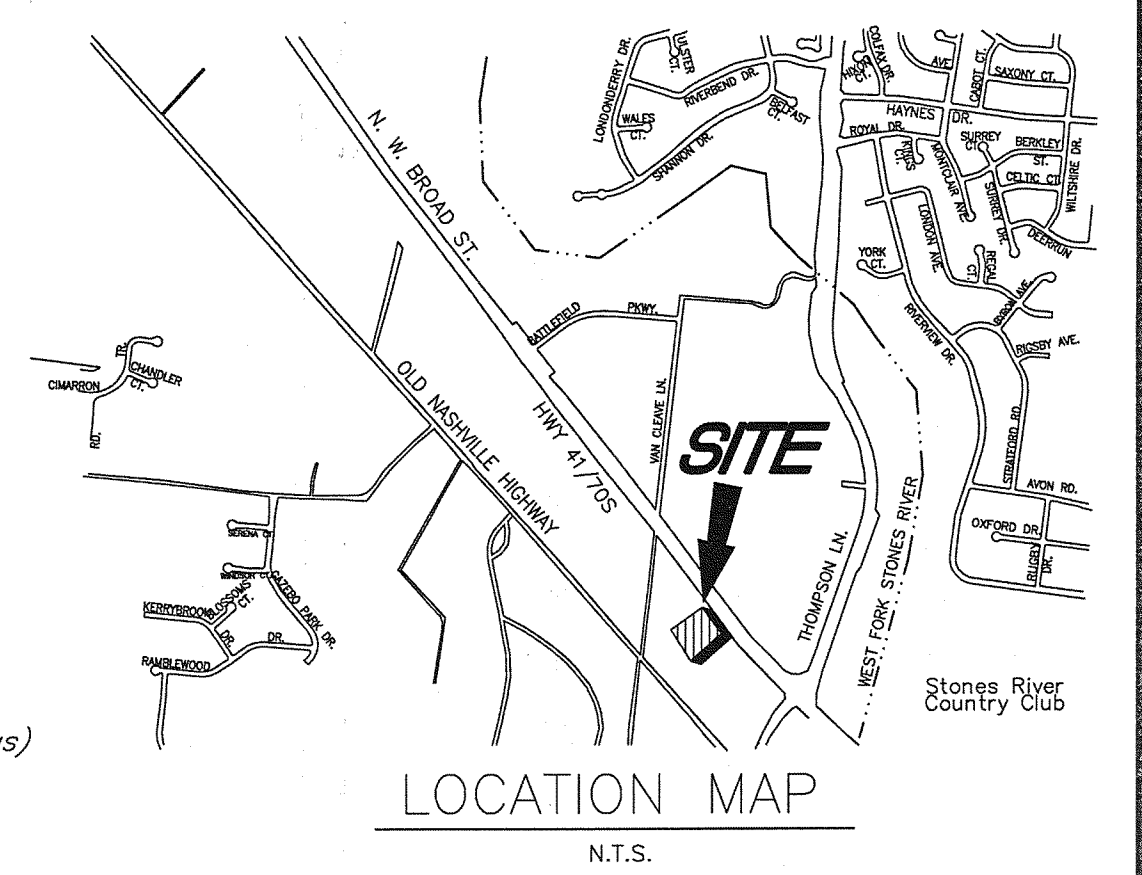


TYPICAL BUILDING SETBACK DETAIL
N.T.S.



LEGEND

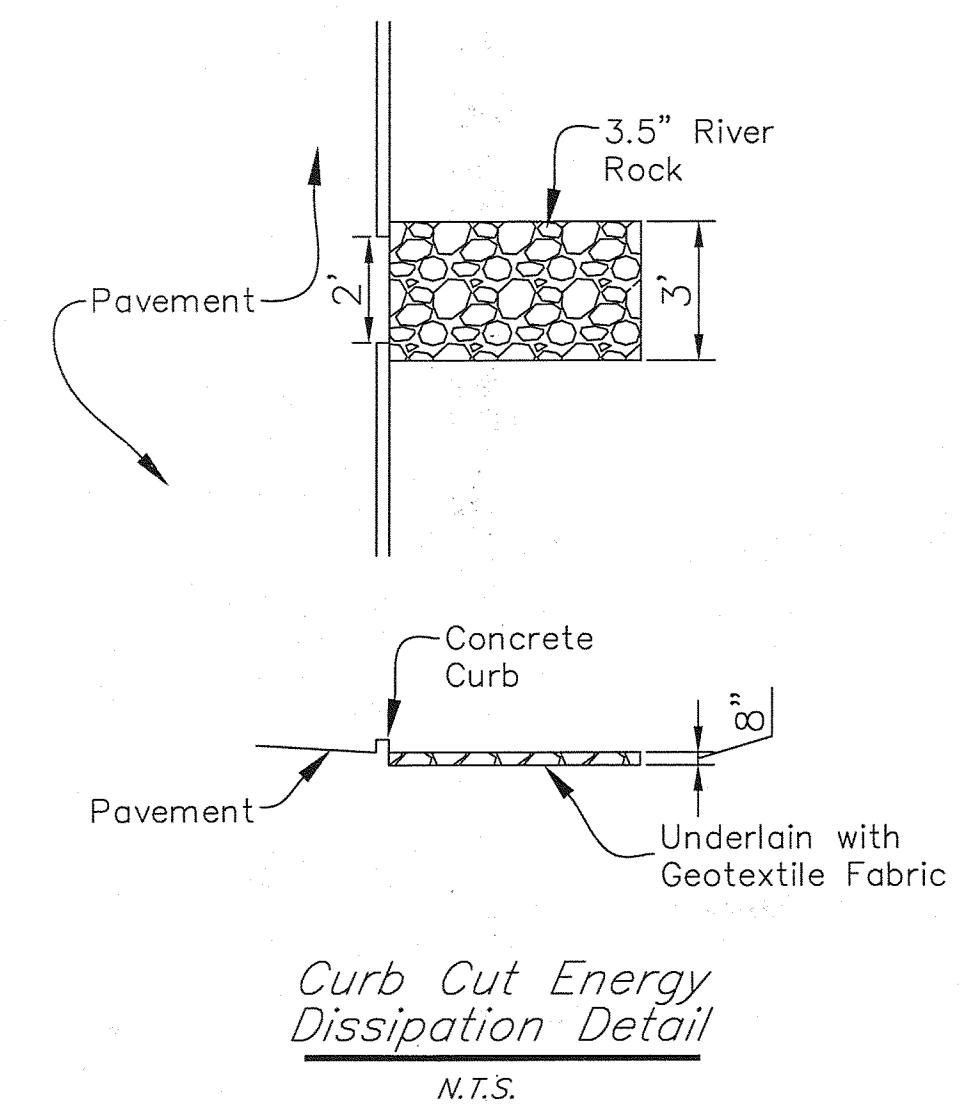
- ⊗ Existing Power Pole
- ⊕ Existing Fire Hydrant
- ⬢ Proposed Fire Hydrant
- ⬡ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- Existing Manhole
- ⊕ Proposed Manhole
- ⊕ Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- 0.0 Existing Spot Elevations
- 0.0 Proposed Spot Elevations
- ⊕ Proposed Light Pole
- ⊕ Proposed Water Meter
- ⊕ Proposed Irrigation Meter
- SSWL Single Solid White Line (Pavement Markings)
- ⊕ Proposed M.E.D. Transformer
- ⊕ Proposed M.E.D. Vault
- Proposed Underground Electric
- ⊕ Existing Tree as Noted



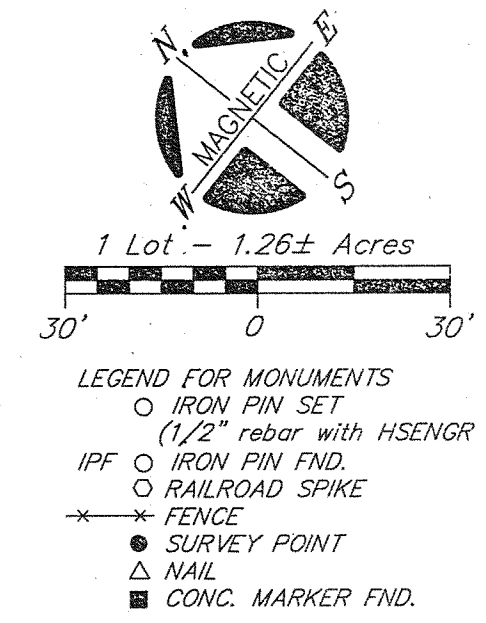
LOCATION MAP
N.T.S.

PLAN NOTES

1. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register or records. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
2. Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
3. It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
4. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
5. Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways, including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conduits, drainage pipes, and natural gas lines. Easements in this subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot owners of this construction.
6. A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.
7. An erosion prevention and sediment control plan will be required with an application for a Land Disturbance Permit. This plan will include a temporary sediment basin.
8. Construction Plans will be subject to review and approval by the City Engineer and Murfreesboro Water and Sewer Department.
9. Final approval subject to approval of construction drawings and hydraulic calculations by M.W.S.D.
10. Per the City of Murfreesboro, under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casing elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the property owner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or property owner shall be responsible for compliance with this requirement.
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13. Per the City of Murfreesboro, a Release & Covenant Not to Sue must be executed and recorded.



Curb Cut Energy Dissipation Detail
N.T.S.



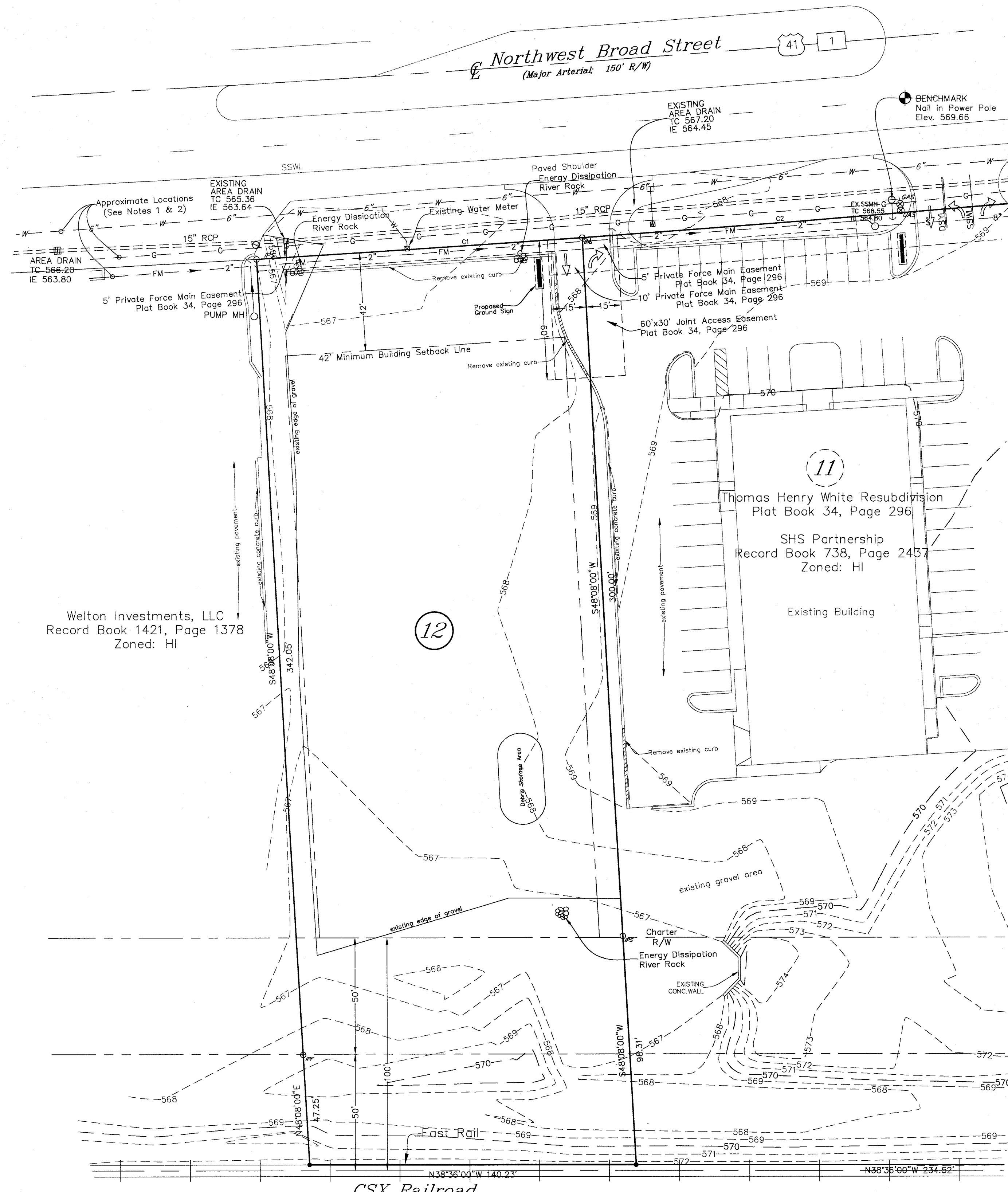
OWNER/DEVELOPER: Scott Simmons
ADDRESS: P. O. Box 331093
Murfreesboro, TN 37133
Tax Map 79, Parcel 40.02
Record Book 1831, Page 2557
Plat Book 34, Page 296

THIS PARCEL IS NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD AREA" ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD MAP PANEL: 470168-145H, ZONE: X, DATED: JANUARY 3, 2007

SHUDDLESTON-STEEL ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: 893 - 4084, FAX: 893 - 0080

#	DATE	REVISION DESCRIPTION
0	09-12-19	Original Issue
1	10-02-19	Revised per Staff Comments
2	12-11-20	Revised per Prior to Permit Comments
3	07-22-21	Revised per Planning and MWRD Comments

GRADING & DRAINAGE PLAN
2121 Northwest Broad
Murfreesboro, TN
Lot 12, Thomas Henry White Farm Subdivision
13th Civil District of Rutherford County, Tennessee
Date: August, 2019 Scale: 1"=30' Sheet 2 of 4



Welton Investments, LLC
Record Book 1421, Page 1378
Zoned: HI

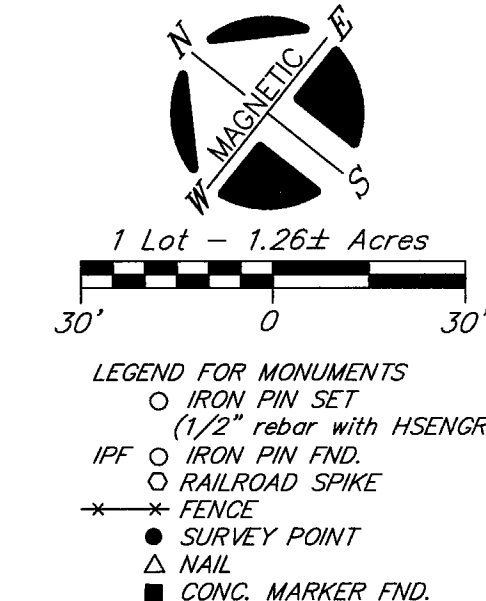
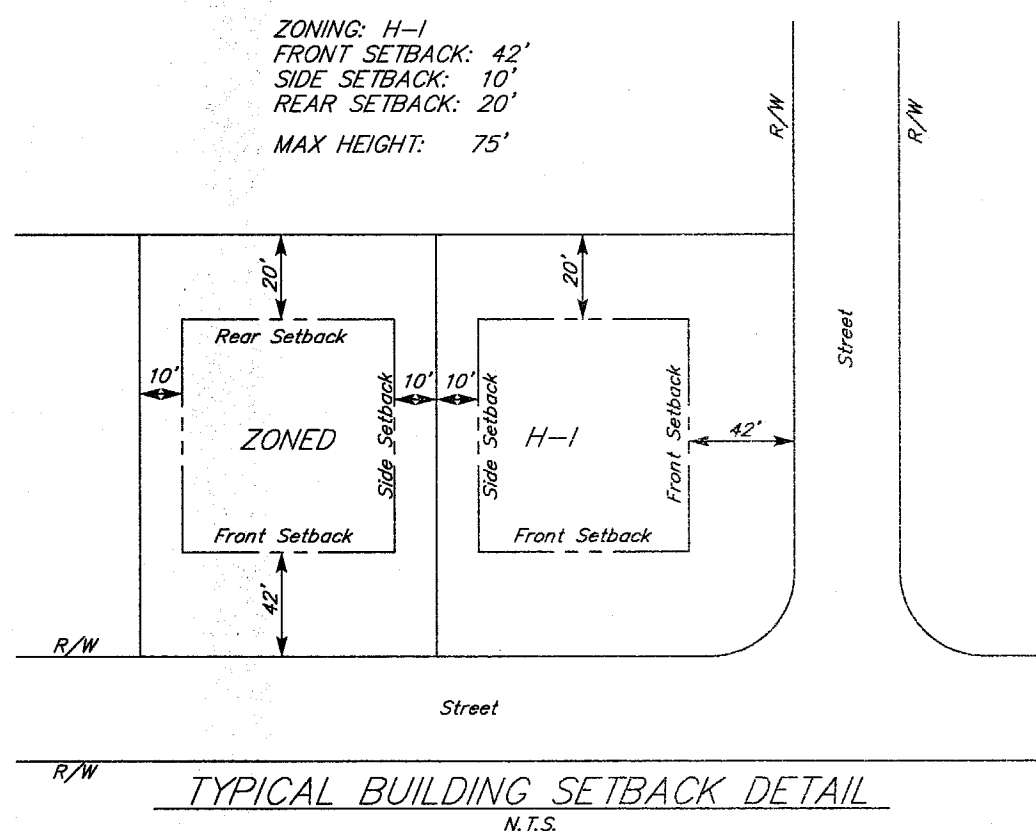
Thomas Henry White Resubdivision
Plat Book 34, Page 296
SHS Partnership
Record Book 738, Page 2437
Zoned: HI

DEVELOPER: Scott Simmons
ADDRESS: P. O. Box 331093
Murfreesboro, TN 37133

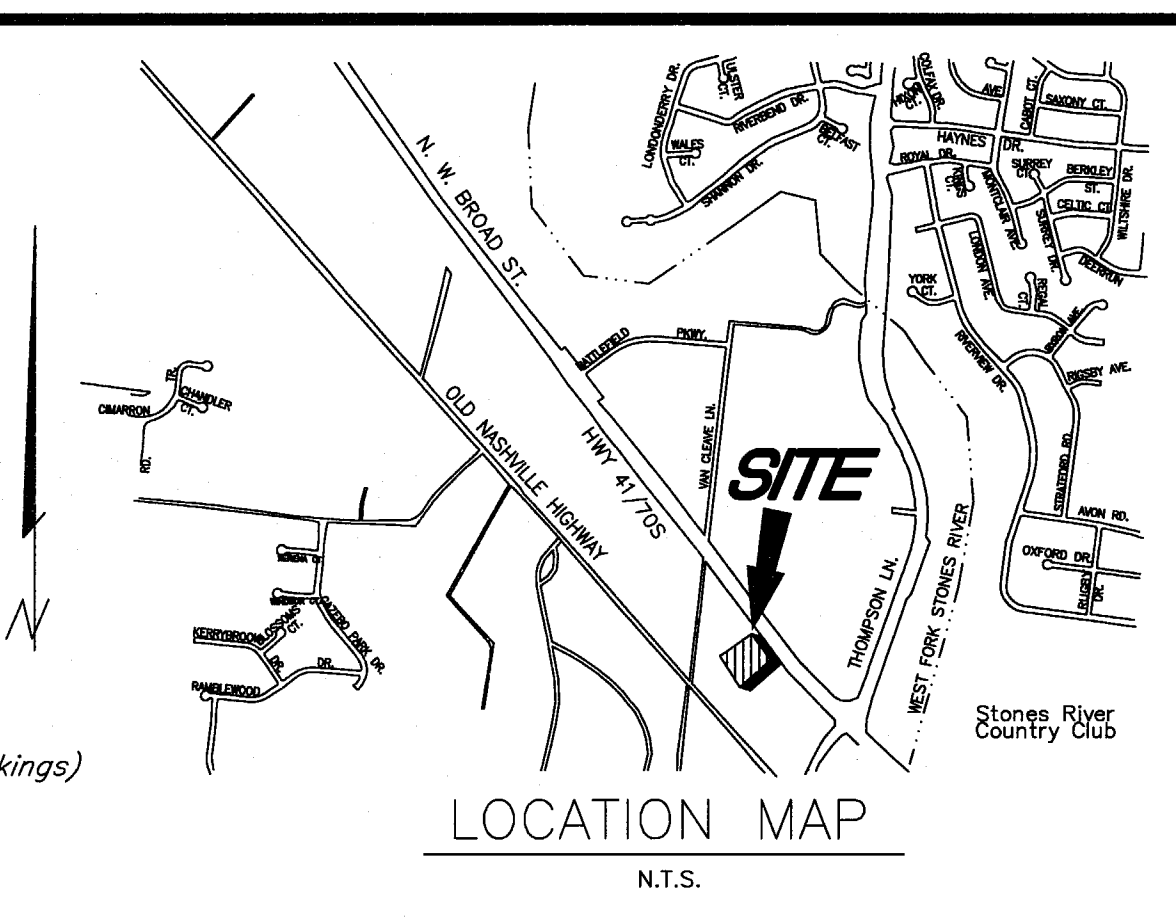
OWNER: SHS Partnership
ADDRESS: 2115 Northwest Broad Street
Murfreesboro, TN 37129

Tax Map 79, Parcel 40.00
Record Book 947, Page 1882
Plat Book 34, Page 296

THIS PARCEL IS NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD AREA" ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD MAP PANEL 47016B-145H, ZONE: X, DATED: JANUARY 5, 2007



- ### LEGEND
- Existing Power Pole
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - △ Reducer
 - ▲ Proposed Gate Valve & Box
 - ▲ Concrete Thrust Block
 - W- Existing Water Line
 - W- Proposed Water Line
 - S- Existing Sanitary Sewer Line
 - S- Proposed Sanitary Sewer Line
 - Existing Manhole
 - Proposed Manhole
 - Sewer Line Check Dam
 - 00- Existing Contours
 - 00- Proposed Contours
 - 00.0 Existing Spot Elevations
 - 00.0 Proposed Spot Elevations
 - Proposed Light Pole
 - Proposed Water Meter
 - Proposed Irrigation Meter
 - SSWL Single Solid White Line (Pavement Markings)
 - Proposed M.E.D. Transformer
 - Proposed M.E.D. Vault
 - E- Proposed Underground Electric
 - ☼ Existing Tree as Noted



- ### PLAN NOTES
1. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
 2. Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
 3. It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from its structure to the drainage system constructed by the subdivision developer.
 4. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
 5. Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways, including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines. Easements in this subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction.
 6. A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbances. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.
 7. An erosion prevention and sediment control plan will be required with an application for a Land Disturbance Permit. This plan will include a temporary sediment basin.
 8. Construction Plans will be subject to review and approval by the City Engineer and Murfreesboro Water and Sewer Department.
 9. Final approval subject to approval of construction drawings and hydraulic calculations by M.W.S.D.
 10. Per the City of Murfreesboro, under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the property owner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or property owner shall be responsible for compliance with this requirement.
 11. Per the City of Murfreesboro, both TDOT and City Right-of-Way permits will be required for this project.
 12. Upon completion and final acceptance of the landscape installation, a three (3) year landscape maintenance bond will be required. This bond

#	DATE	REVISION DESCRIPTION
1	09-12-19	Original Issue
2	10-25-19	Revised per Prior to Permit Comments



EXISTING CONDITIONS & DEMOLITION PLAN

2121 Northwest Broad
Murfreesboro, TN

Lot 12, Thomas Henry White Farm Subdivision
13th Civil District of Rutherford County, Tennessee

Date: August, 2019 Scale: 1"=30' Sheet 3 of 4

- Planting notes
- It is the responsibility of the contractor to verify that each excavated tree or shrub pit will percolate (drain) prior to adding topsoil and installing trees or shrubs. The contractor shall fill the bottom of selected holes with six inches of water. This water should percolate out within a 24-hour period. If the soil at a given area does not drain properly, a PVC drain or gravel sump shall be installed or the owner's representative will select alternate planting locations.
 - Should the contractor encounter unsatisfactory surface or other subsurface drainage conditions, soil depth, latent soils, hard pan, steam of other utility lines or other conditions that will jeopardize the health and vigor of the plants, he must advise the owner's representative in writing of the conditions prior to installing the plants. Otherwise the contractor warrants that the planting areas are suitable for proper growth and development of the plant materials to be installed, contractor shall take responsibility for the cost of any revision. Owner's representative will select alternate planting locations.
 - No material shall be planted before finish grading has been completed.
 - Contractor shall notify the owner's representative when the plant materials are available at the job site for review prior to installation.
 - Prior to installation of plant materials, the width and length of all parking lot landscape island and median areas are to be excavated to a depth of 24 inches below the proposed top of asphalt pavement elevation. Excavated material is to be removed from the landscape areas and disposed of offsite or in an area approved by the project engineer. No asphalt construction trash and/or materials are to be left in the topsoil and planting mix backfill and/or subgrade of any proposed parking lot islands and/or planting medians and strips. Parking lot islands and medians are to be backfilled with topsoil and compacted per the details and project specifications and to the elevation indicated on the grading plans. Finished grade conditions of sodded and seeded lawn areas behind curbs shall be flush with or one inch higher than the top of curb. Elevation after settlement and installation of sod or seed.
 - In areas of inorganic fill or where subgrade is unacceptable for planting, the width of the plant pit shall be excavated to three times the diameter of the root ball. Install backfill planting mix and plant materials as specified in the details.
 - Existing trees to be preserved are to be barricaded before beginning construction in accordance with the tree preservation notes and details and as indicated on the landscape plans.
 - The contractor is responsible for fully maintaining all planting (including but not limited to: watering, spraying, mulching, fertilizing, etc.) of the planting areas and laws until the work is accepted in total by the owner. The contractor shall completely guarantee all plant materials for the period specified in the project manual. The contractor shall promptly make all replacements before or at the end of the guarantee period.
 - All plant material which dies, turns brown or defoliated (prior to total acceptance of the work) shall be promptly removed from the site and replaced with material of the same species, quantity and size and meeting all plant list specifications.
 - Matched growth habit is defined as grown to be look alike in terms of structure and character. Matched trees should be carefully grown and from the same stock.
 - All proposed plant materials are to meet the requirements of the "American Standard for Nursery Stock" established by the American National Standard Institute, Inc. (ANSI), issued in its most recently published version.

- General notes
- Existing tree survey and base information was taken from the site plan for this proposed project, Rountree and Associates and any of their consultants shall not be held responsible for the accuracy and/or completeness of that information shown hereon or any errors or omissions resulting from such.
 - The location of existing and proposed utilities shown on these plans are approximate only. The contractor is to verify the exact location of all utilities, geothermal lines and irrigation lines prior to commencing any work. Safeguard existing utilities that are to remain, repair any damage according to local standards and at no additional expense to the owner. Coordinate all construction with the appropriate utility companies for this district. Notify Tennessee One-Call 72 hours prior to proceeding with any excavation. In the event that special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment at no additional cost to the owner.
 - The contractor shall obtain all necessary permits, licenses, etc. And shall give all notices and comply with all applicable laws, ordinances, codes, rules and regulations during the course of the installation of this project.
 - The contractor shall comply with all pertinent provisions of the Manual of Accident Prevention in Construction issued by AGA of America, Inc. and the "Safety and Health Regulations for Construction" issued by the U.S. Department of Public Works.
 - The contractor is to verify the tree planting requirements of the utility agencies for this district prior to installation of any plant material.
 - The contractor acknowledges & agrees that the work is entirely at his risk until the work is accepted, and he will be held responsible for its safety by the owner. The contractor will indemnify the owner, landscape architect and engineer from liability at the site throughout the installation process.
 - The contractor shall furnish, install and maintain all necessary temporary works for the protection of the work and the public, including barricades, warning signs and lights.
 - The contractor shall be responsible for any damage done to the premises or adjacent premises, or injuries to the public during the installation of the work. Whether caused by himself, his subcontractors or the carelessness of any of his employees.
 - The contractor shall comply with all applicable safety statutes and rules requiring certain protective personal apparel such as hard hats, protective shoes, etc. The owner and landscape architect assume no responsibility or liability for actions taken by the contractor which endanger life or property.
 - Any foreign item found during construction is the property of the owner. This includes but is not limited to antiques.
 - Maintain the site in a neat and orderly condition at all times, daily, and more often if necessary, inspect and pick up all scrap, debris, and waste material.
 - Provide protection to all finished work, maintain surfaces clean, unmarred, and suitably protected until acceptance by owner.

Landscape Calculations:
 Total Number of Non-Buffer Trees on Site=24
 4" Caliper Trees Required=(0.1)*24=2.4=3
 4" Caliper Trees Provided=4
 3" Caliper Trees Required=(0.15)*24=3.6=4
 3" Caliper Trees Provided=6

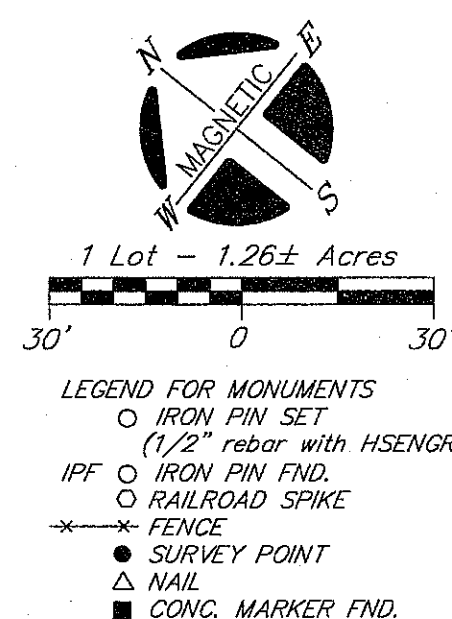
PLANT MATERIAL LIST

CANOPY AND EVERGREEN TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
11	QUE NUT	Quercus nuttallii	Nuttall Oak	2.5" Cal.	B&B	5' CLEAR TRUNK/SINGLE STRAIGHT CENTRAL LEADER, FULL CANOPY
3	LIR TUL	Liriodendron tulipifera	Tulip Tree	4" Cal.	B&B	5' CLEAR TRUNK/SINGLE STRAIGHT CENTRAL LEADER, FULL CANOPY
6	ACE RUB	Acer rubrum	October Glory Red Maple	3" Cal.	B&B	5' CLEAR TRUNK/SINGLE STRAIGHT CENTRAL LEADER, FULL CANOPY
9	LC	Cupressus x leylandii	Leyland Cypress	6' Hgt	B&B or Cont	Full Symmetrical, Evenly Branched, Full to Base
ORNAMENTAL TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
4	CER CAN	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	2.5" Cal.	B&B or Cont	4 ft. Clear Trunk, Full Canopy
SHRUBS AND GRASSES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
32	VIB PRU	Buxus 'Green Velvet'	Green Velvet Boxwood	18" Hgt.	Cont.	Full Symmetrical Shape
39	ILE GLA	Ilex Glabra 'Nigra'	Inkberry Holly	24" Hgt.	Cont.	Full Symmetrical Shape
18	JUN CHI	Juniperus chinensis 'Sea Green'	Sea Green Juniper	24" Hgt	Cont.	Full Symmetrical Shape
48	BUX MIC	Buxus microphylla	Wintergreen Boxwood	24" Hgt.	Cont.	Full Symmetrical Shape
14	HYD PAN	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	24" Hgt	Cont.	Full Symmetrical Shape
2	JUN HOR	Juniperus horizontalis 'Blue Chip'	Creeeping Juniper	1 Gal	Cont.	Full Symmetrical Shape

All plant materials to be nursery grown and to comply with the American Standard for Nursery Stock and ANSI Z60.1-2004 or latest revision, for size and quality.
 NOTE: Any utility structure, light poles, sign, or other feature may not be added to any required landscape island in such a manner that would displace the required element(s) (trees, shrubs, etc.).

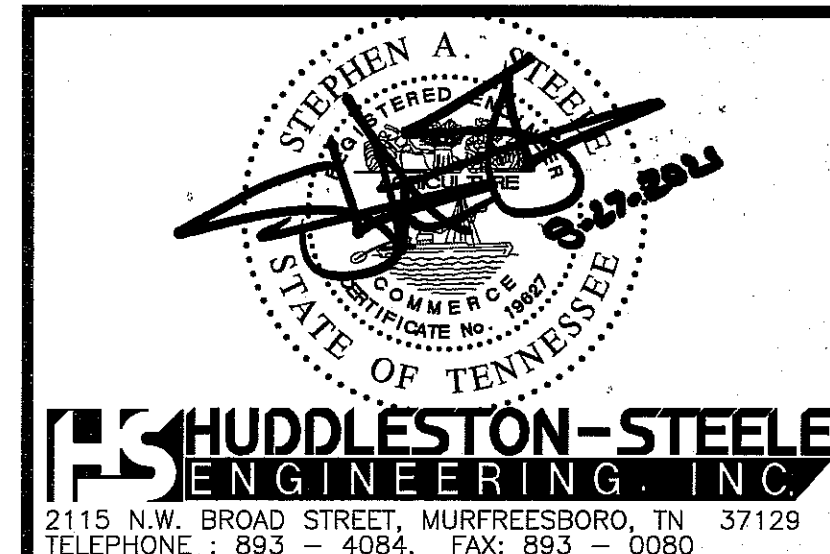
Planning Department approval of this site plan, may or may not adequately reflect the latest requirements and/or plans approved by Murfreesboro Water Resources Department (MWRD). This also applies to site plans that are included in the building permit set. Contractor must verify with MWRD that they are using approved Utility Plans.

- Notes:
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One-Call system can be notified by calling toll free 1-800-351-1111.
 - Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.

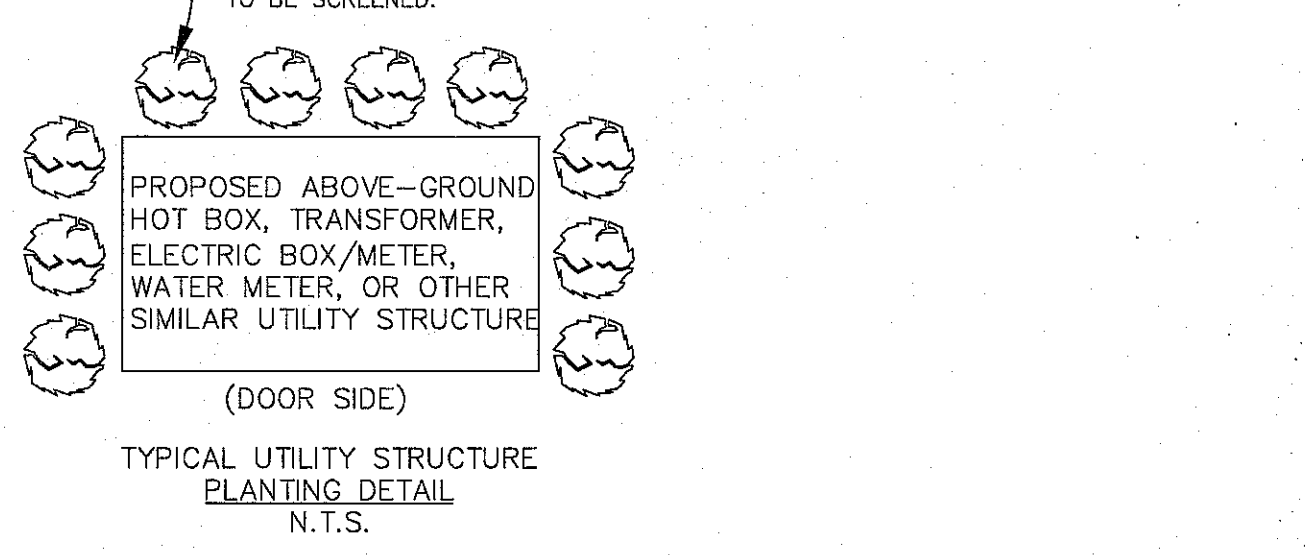
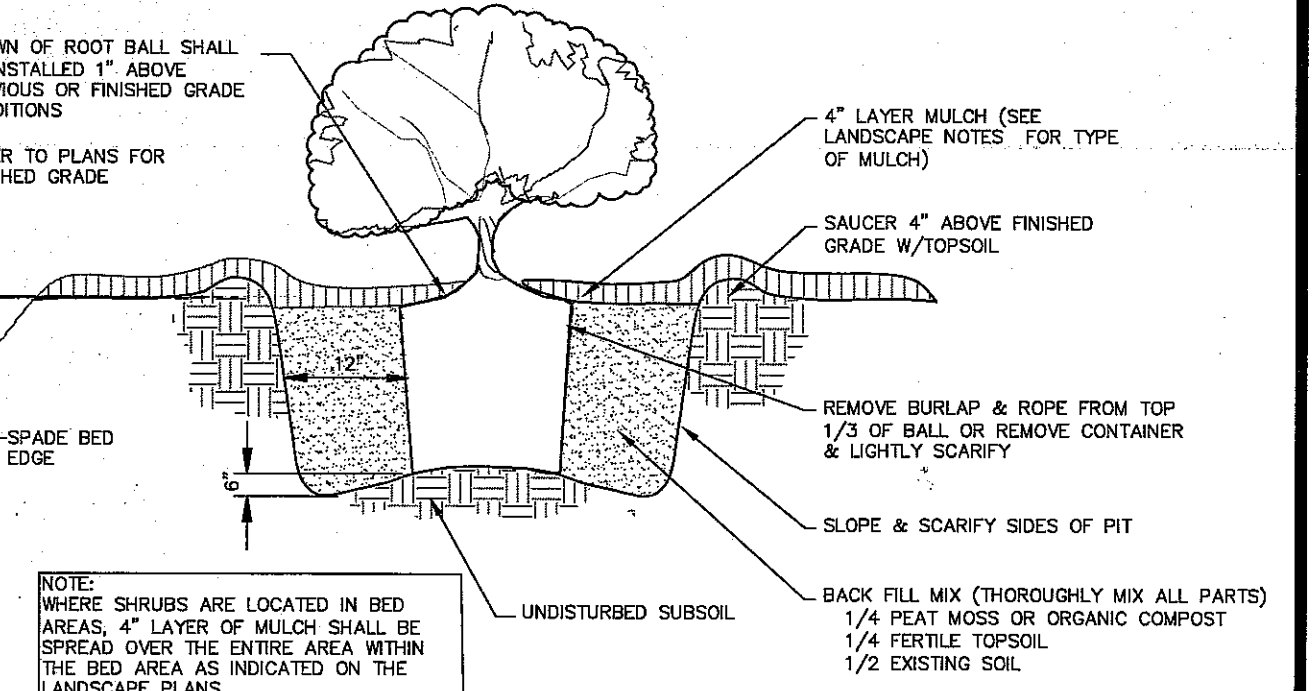
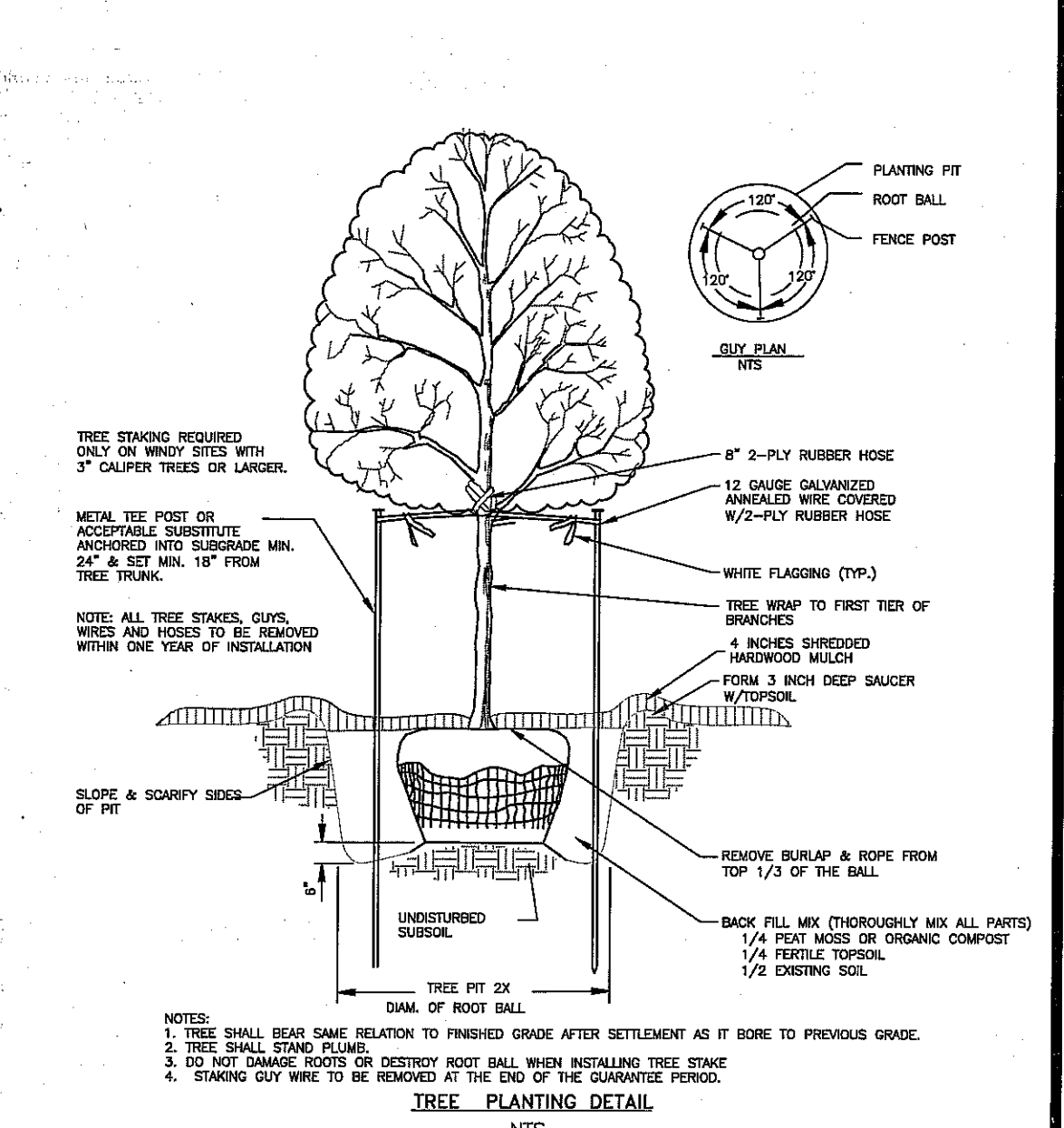
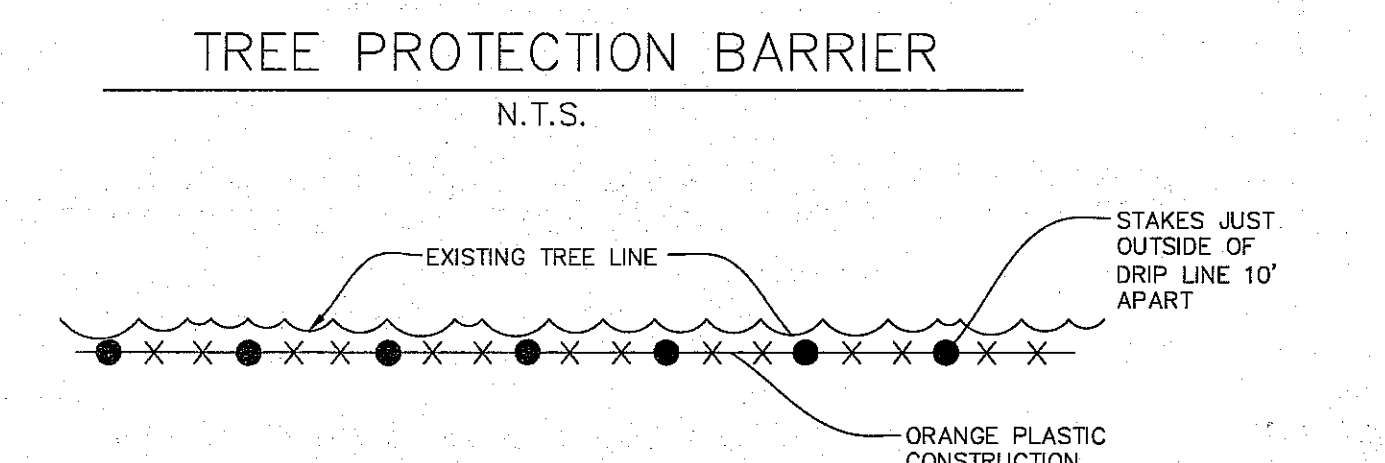
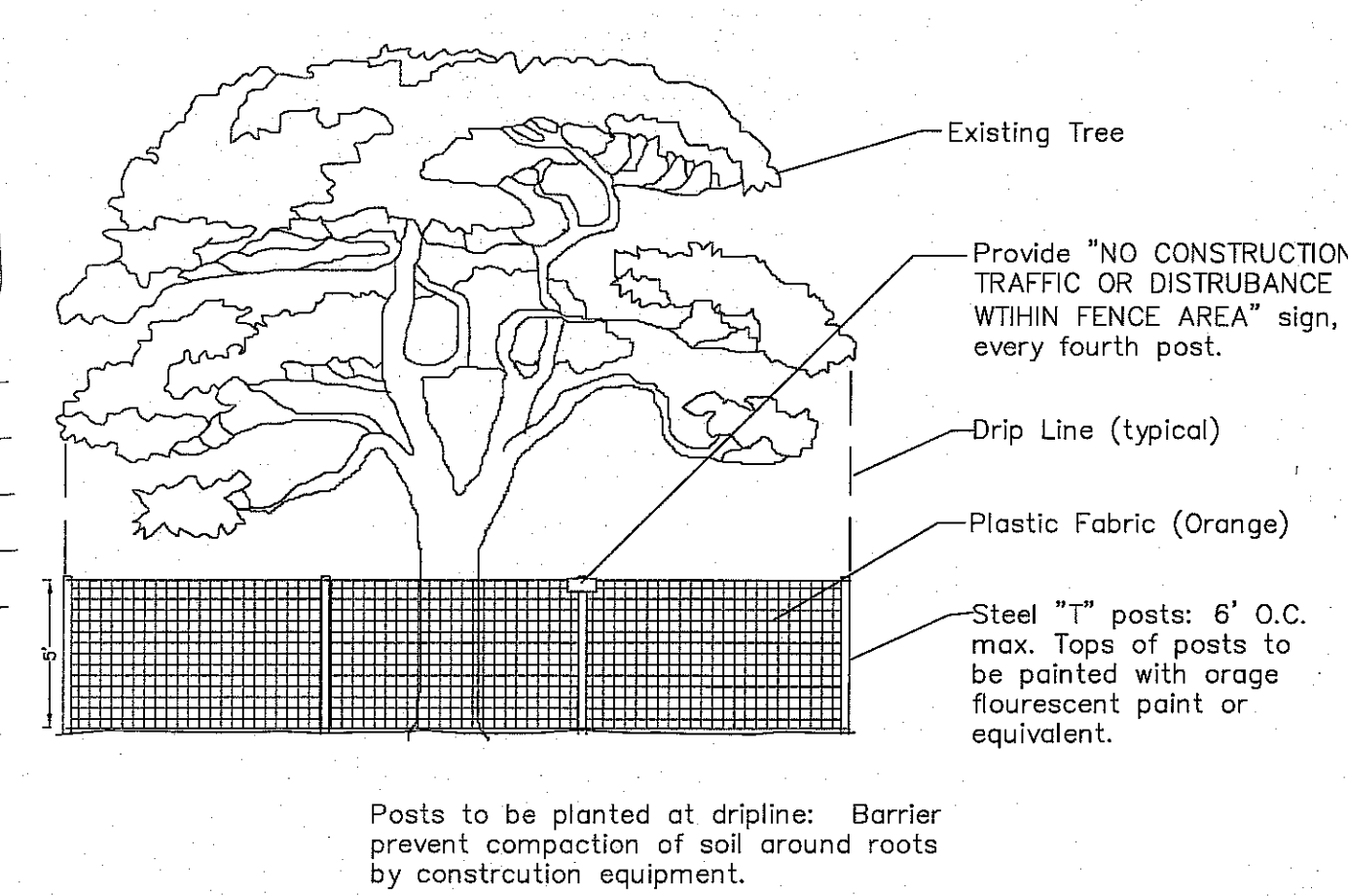
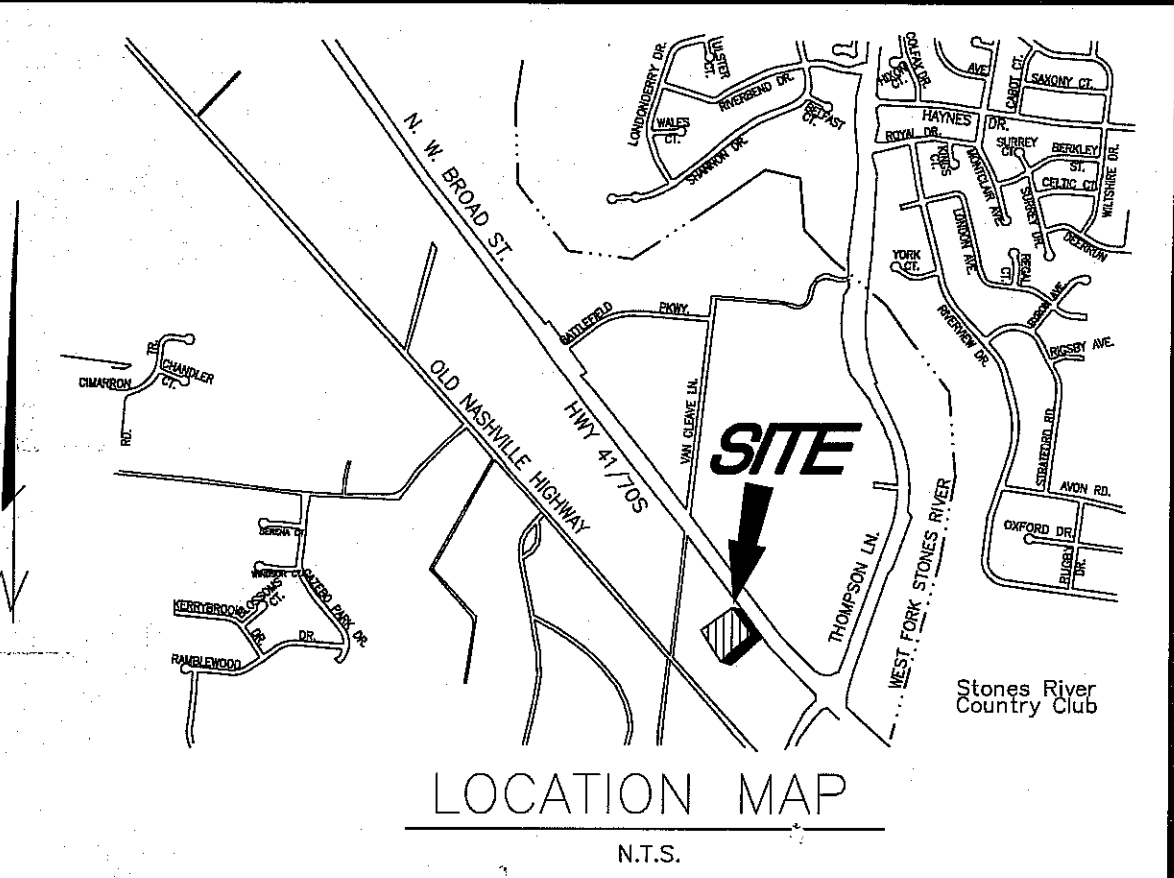
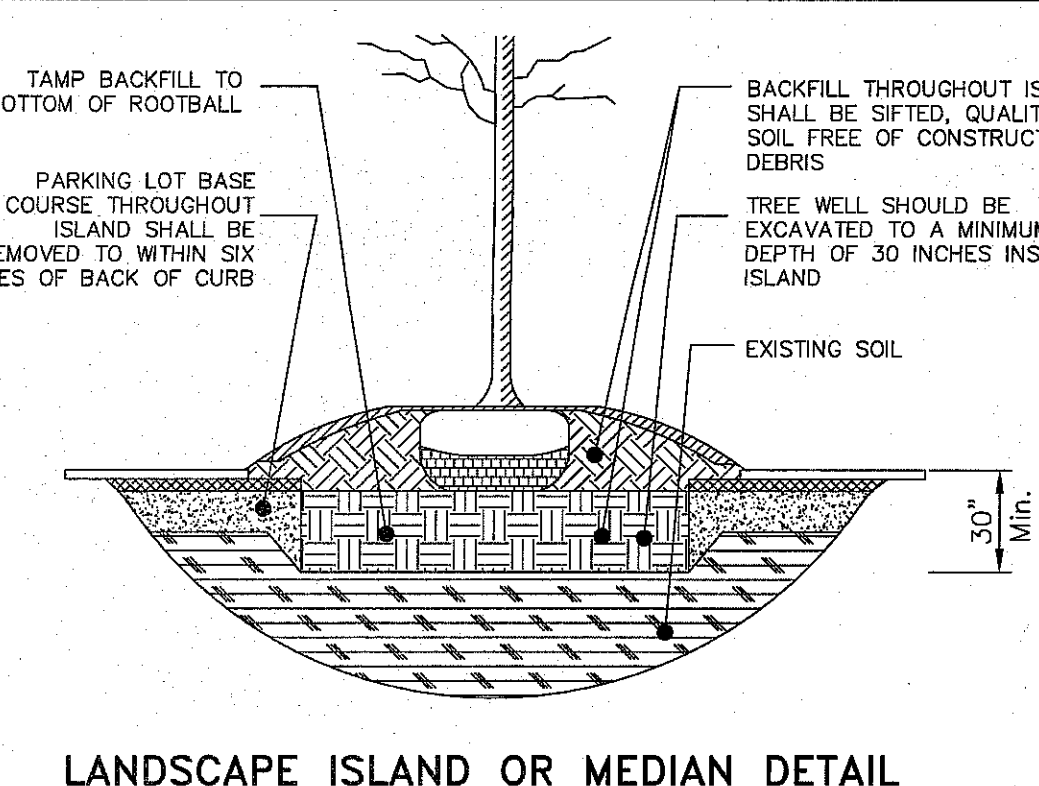
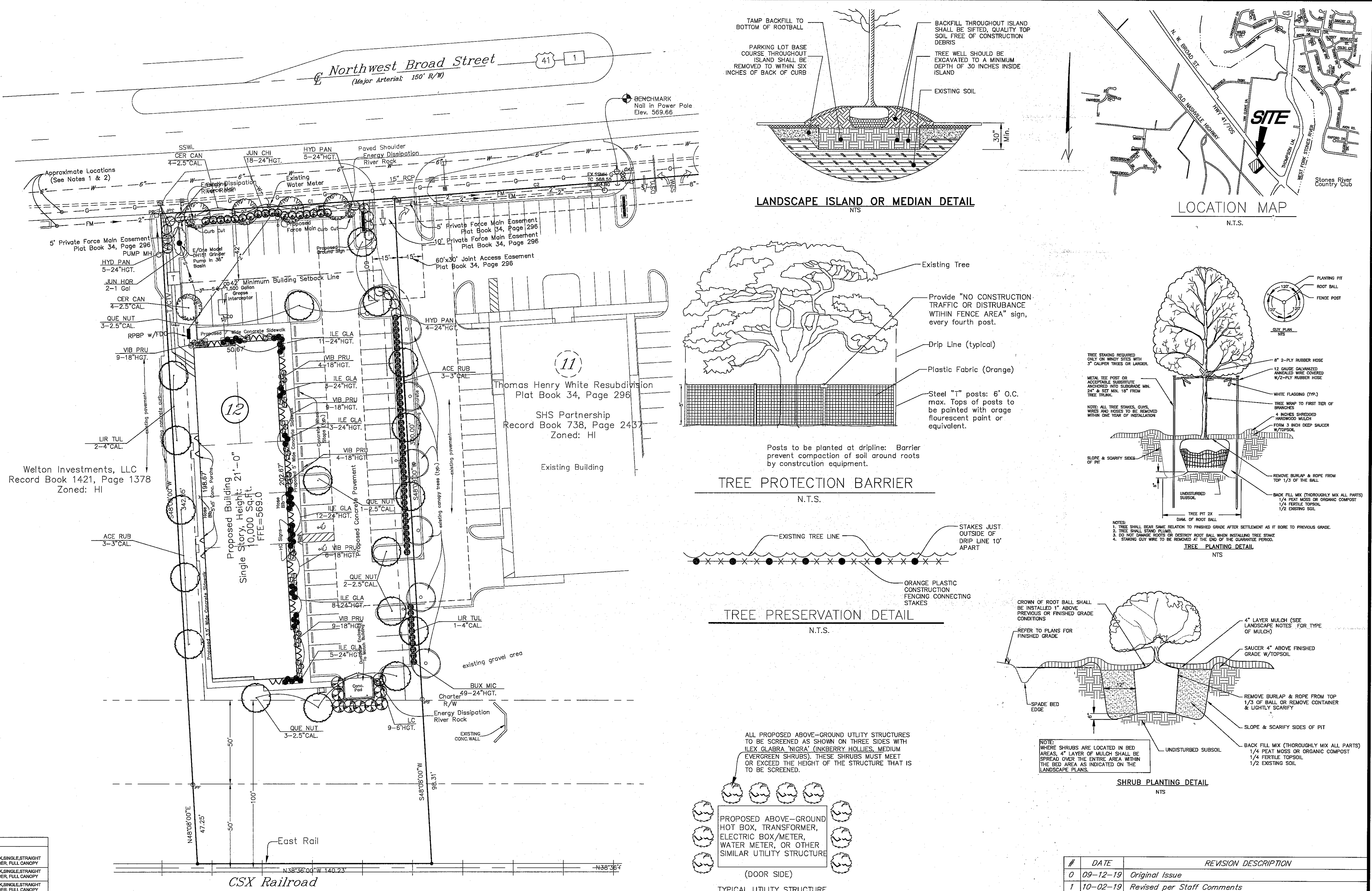


OWNER/DEVELOPER: Scott Simmons
 ADDRESS: P. O. Box 331093
 Murfreesboro, TN 37133
 Tax Map 79, Parcel 40.02
 Record Book 1831, Page 2557
 Plat Book 34, Page 296

THIS PARCEL IS NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD AREA" ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD MAP PANEL: 47016B-145H, ZONE: X, DATED: JANUARY 5, 2007



LANDSCAPE PLAN
2121 Northwest Broad
Murfreesboro, TN
 Lot 12, Thomas Henry White Farm Subdivision
 13th Civil District of Rutherford County, Tennessee
 Date: August, 2019 Scale: 1"=30' Sheet 4 of 4



#	DATE	REVISION DESCRIPTION
0	09-12-19	Original Issue
1	10-02-19	Revised per Staff Comments
2	12-11-20	Revised per Prior to Permit Comments
3	07-22-21	Revised per Planning and MWRD Comments
4	08-12-21	Revised per MTE Comments
4	08-27-21	Revised per Staff Comments

DESCRIPTION

The slim architectural SLW Series LED wallpack features integral motion detection (PIR sensor) or photocontrol only (NS model) in both "normally on" and UL 924 Listed emergency egress models. The fully gasketed die-cast enclosure is IP65 rated and UL Listed for Wet Locations. The SLW's 15 Watt LED light engine delivers 1500 lumens in AC mode and 600 lumens in emergency mode. Zero upright optics reduce light pollution.

SPECIFICATIONS

- Construction:**
- Architectural die-cast aluminum housing
 - Snap-fit housing to mounting plate for easy access and installation
 - Universal pattern knockouts on back for mounting to 3" and 4" J-box
 - 1/2" Threaded conduit entry for top feed
 - Available in Bronze, Black, Silver or White finish

- Optical LEDs:**
- 15 Watt high-power LED light engine delivers 1500 lumens (600 lumens in emergency mode for 60" on center spacing)
 - Standard 4000K CCT, CRI ≥ 70, L70 > 72,000 hours
 - LED array is protected by a high-impact, UV-resistant polycarbonate lens

Electrical:

- 120-277VAC, 60Hz driver
- EM option uses long-life, maintenance-free, rechargeable high temperature NiCad battery which includes internal heater suitable for cold locations and draws an additional 17 Watts
- Integral controls include:

- Standard unit: Passive infrared (PIR) motion sensor with up to 10' detection, operational from dusk to dawn. Unit will shut off after two minutes of inactivity. The light will activate in AC mode only when motion is detected. Motion sensor (PIR) and dusk to dawn operation cannot be altered
- No PIR sensor option (NS): switchable AC operation for use as dusk to dawn with included photocontrol or use of a normally open switch by disabling photocontrol

- Installation:**
- Ideal for mounting to any vertical surface by attaching to a 3" or 4" J-box
 - Can be surface mounted using the 1/2" conduit entry point at top of housing

- Options:**
- Emergency (EM) battery back-up is UL 924 Listed to provide a minimum 90 minutes operation during a loss of power, with a 24 hour maximum recharge time for battery. Standard with self-test/self-diagnostics as well as a heater for cold location operation to -25°C. AC power indicator and test switch are located on bottom face of the unit
 - No PIR sensor option (NS) is offered without passive infrared (PIR) motion sensor, but with a photocontrol for use in dusk to dawn applications. Photocontrol can be disabled to be used as an always on or switchable fixture

- Testing & Compliance:**
- cULus Listed for Wet Locations, IP65 rated
 - Emergency model UL 924 Listed, NFPA 70, NFPA 101
 - DesignLights Consortium® (DLC) Qualified (verify GPL for specific models)
 - Complies with Title 24 of the California Code of Regulations
 - Operating temperatures: -25°C to 50°C (-13°F to 122°F)

Warranty:
Five Year Warranty (Terms and Conditions Apply)



Stats at a Glance*	
Wattage (W)	15 (EM model: 32)
Lumens (lm)	1500
Efficacy (LPW)	100
Equivalency	100W HID
CCT	4000K
CRI	≥ 70
Input Voltage	120-277VAC, 60Hz
Warranty	5 Years
Certifications	UL Listed for Wet Locations, DLC, UL 924, NFPA 101, Title 24
Operating Temp	-25°C to 50°C (-13°F to 122°F)
Weight	3.7 lbs (EM model: 4.5 lbs)

Note:
Environment and application will affect actual performance. Typical values and 25°C used for testing. Specifications subject to change without notice.

Series	Wattage	CCT	Finish	Options
SLW	15 = 15W	4K = 4000K	(Blank) = Bronze	EM = UL 924 Emergency battery back-up with self-test/self-diagnostics, cold location
			BL = Black	NS = Photocontrol only (no PIR motion sensor)
			SV = Silver	
			WH = White	

TYPE "B"

DESCRIPTION

The Lumark Accent LED wall mount luminaire provides a flush-mounted, architectural design with high performing, energy-efficient illumination resulting in up to 95% energy and maintenance savings over traditional sources. The die-cast aluminum construction along with stainless steel hardware, gasketed housing, and sealed optical compartment make the Accent impervious to contaminants. The Accent replaces 70W to 450W metal halide equivalents making it ideal for pathway illumination, building entrances, vehicle ramps, schools, tunnels, stairways, loading docks and floodlighting applications.

SPECIFICATION FEATURES

Construction
Low-profile LED design with rugged die-cast aluminum housing. Matching housing styles incorporate both a full cutoff and reflective lens design. External fin design on the back of the fixture extracts heat from the surface resulting in a thermally optimized design for longer luminaire life. One-piece silicone gasket seals the fixture, keeping out moisture and dusts in compliance with IP68 rating. The fixture is 3G vibration rated (ANSI C136.31) and UL/UL listed ensuring reliability and durability in wall mount applications.

Optical
Silicone-sealed optical LED chamber incorporates a custom engineered reflector providing high-efficiency illumination. Refractive lens models incorporate a molded lens assembly designed for maximum forward throw. Optional glare free lens is available for visual comfort at reduced lumen values. Available in Type IV distribution with lumen packages ranging from 1,800 to 17,300 nominal lumens. Light engine configurations consist of high-efficiency, discrete LEDs mounted to metal-core circuit boards to maximize heat

dissipation and promote long life. Offered in standard 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 5000K CCT / 70CRI min and 3000K / 80CRI min are available.

Electrical
LED driver is mounted to the die-cast aluminum housing for optimal heat sinking. Integral LED electronic driver incorporates 8kV surge protection, Class 1 electronic drivers have a power factor >90% and THD <20%. 120-277V 60Hz standard operation with optional 347V 60Hz or 480V 60Hz options available. 480V is compatible for use with 480V Wye systems only. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such as dimming and occupancy. 10kV/10kA surge protection option is available.

Mounting
Steel wedge mounting plate fits directly to 4" standard J-box or directly to wall with the "Hook-N-Lock" mechanism for quick installation. Secure with two captive, corrosion resistant, stainless steel set screws, which are concealed but accessible from bottom of fixture. Optional floodlight kits available in slipfitter,

knuckle and trunion mount configurations. Optional pole mount configuration provides a quick-mount solution to round and square poles. The easy installation arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8".

Emergency Egress
The Accent is protected with five state super TGIC polyester powder coat paint in carbon bronze and five other color finishes. Super TGIC power coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Finish
The Accent is protected with five state super TGIC polyester powder coat paint in carbon bronze and five other color finishes. Super TGIC power coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty
Five-year warranty.

Lumark

Catalog #	Type
Project	Date
Comments	
Prepared by	

AXCS / AXCL AXCENT

14-123W LED



APPLICATIONS:
WALL / SURFACE / INVERTED FLOODLIGHTING / PATHWAY / SITE LIGHTING

CERTIFICATION DATA
3G Vibration Rated, Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only), DesignLights Consortium® Qualified* FCC Class A, IP66 Rated, ISO9001, UL/UL Wet Location Listed, RHM Compliant, Title 24 Compliant, UL924 Listed (CBP Models)

TECHNICAL DATA
40°C Minimum Ambient Temperature, +40°C Maximum Ambient Temperature, External Supply Wiring 90°C Minimum

SHIPPING DATA:
Approximate Net Weight:
Small fixture-5 lbs. (2.26 kg.)
Small with sensor or CBP-10 lbs. (4.40 kg.)
Large fixture-12 lbs. (5.40 kg.)
Large with sensor or CBP-17 lbs. (7.73 kg.)
Large with sensor & CBP-21 lbs. (9.54 kg.)

TYPE "E"

Project	Catalog #	Type
Prepared By	Notes	Date



Streetworks
GAN Galleon Flood
Floodlight Luminaire

Typical Applications
Outdoor • Parking Lots • Walkways • Roadways • Building Areas

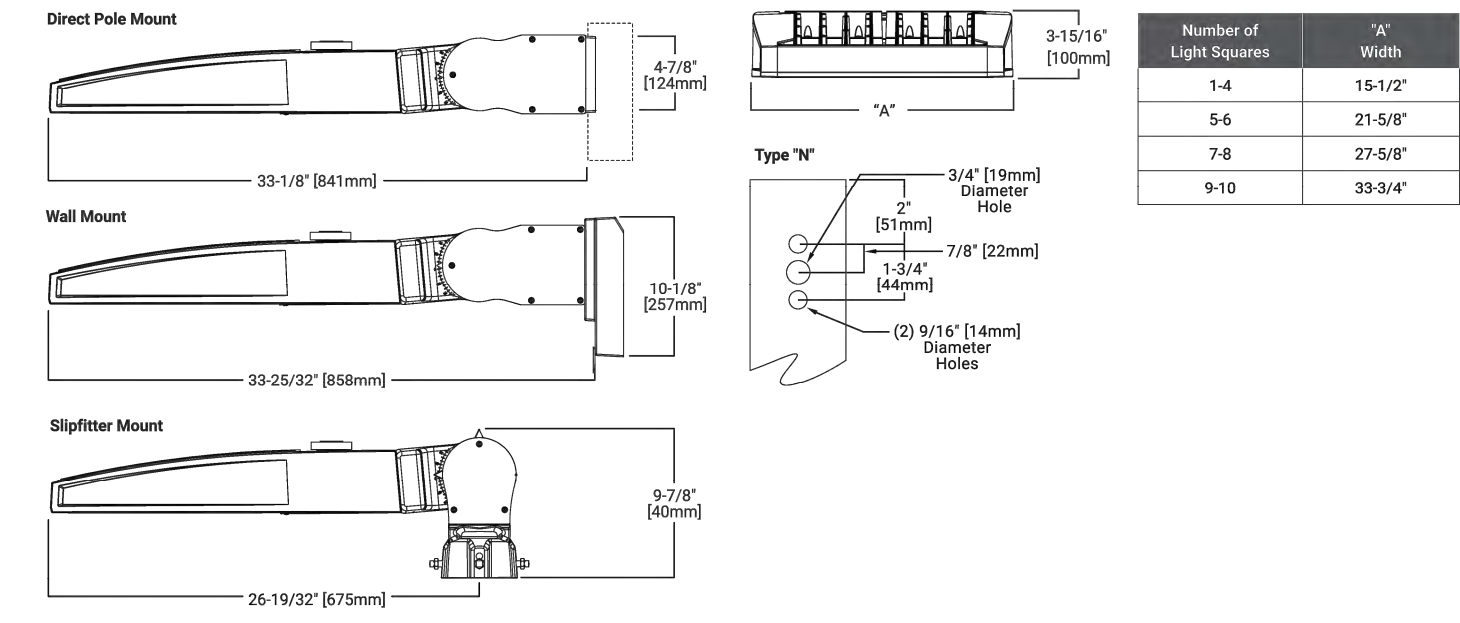
Product Certifications

Product Features

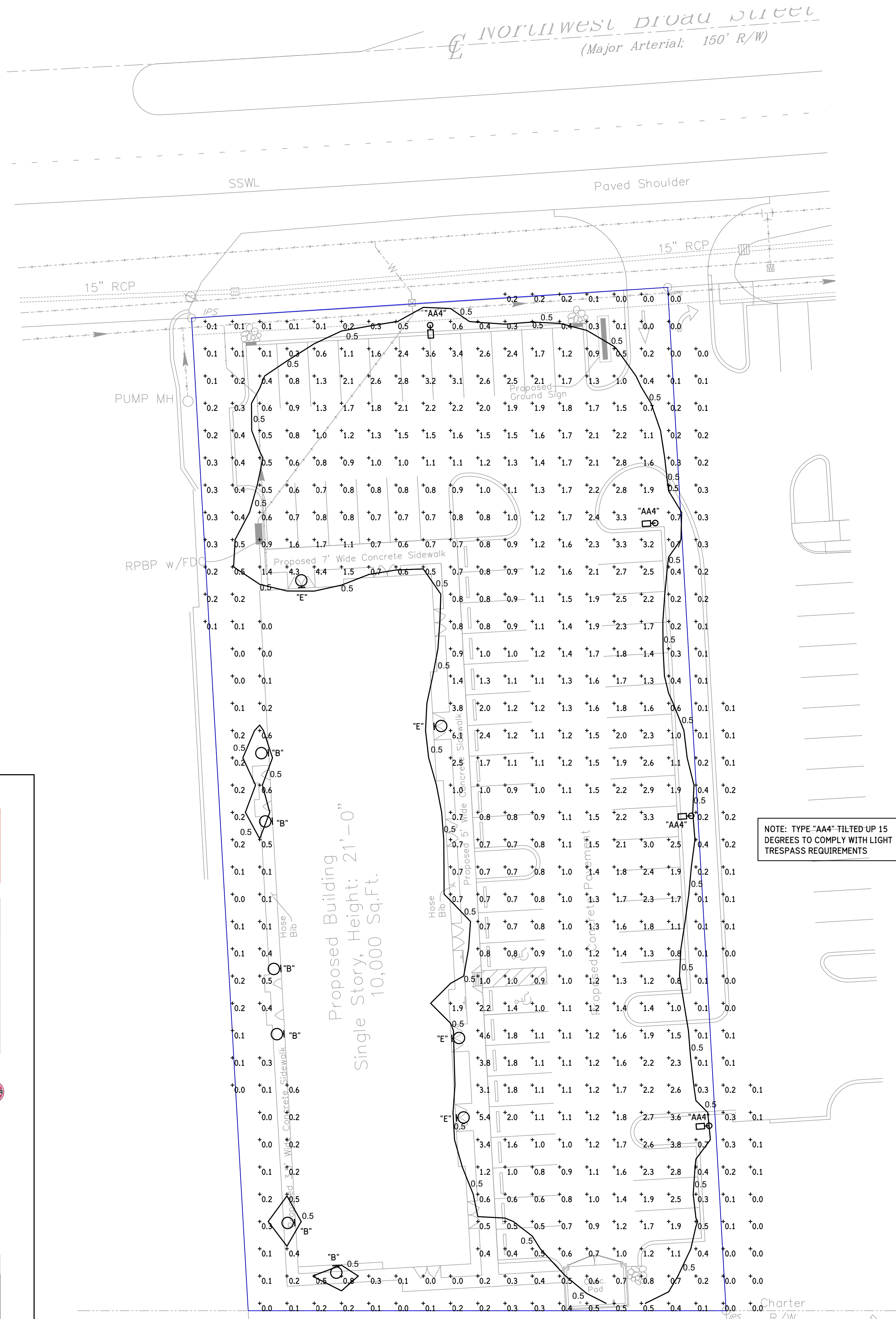
- Interactive Menu**
- Ordering Information page 2
 - Mounting Details page 3
 - Energy and Performance Data page 4
 - Optical Distributions page 4
 - Product Specifications page 4
 - Control Options page 9

- Quick Facts**
- Lumen packages range from 4,200 - 80,800 (34W - 640W)
 - Efficacy up to 156 lumens per watt

Dimensional Details



TYPE "AA4"



SITE PLAN - PHOTOMETRICS

SCALE: 1" = 20'-0"

NOTE: TYPE "AA4" TILTED UP 15 DEGREES TO COMPLY WITH LIGHT TRESPASS REQUIREMENTS

EXISTING CONC. WALL

DEC 10, 2020 - SITE LIT'G UPDATE THIS DRAWING ADDED TO THE PROJECT DOCUMENTS



SIMMONS
RETAIL CENTER
MURFREESBORO, TENNESSEE

W. Michael Stewart
Architect
540 Grove Isle Cir. 103
Vero Beach, Florida 32962

SITE PLAN - PHOTOMETRICS



DECEMBER 9, 2019
SCALE: AS NOTED



SIMMONS RETAIL CENTER



W. Michael Stewart
Architect

540 Grove Isle Cir. 103
Vero Beach, Florida 32962

SIMMONS
RETAIL CENTER
2121 NORTHWAEST BROAD
MURFREESBORO, TENNESSEE

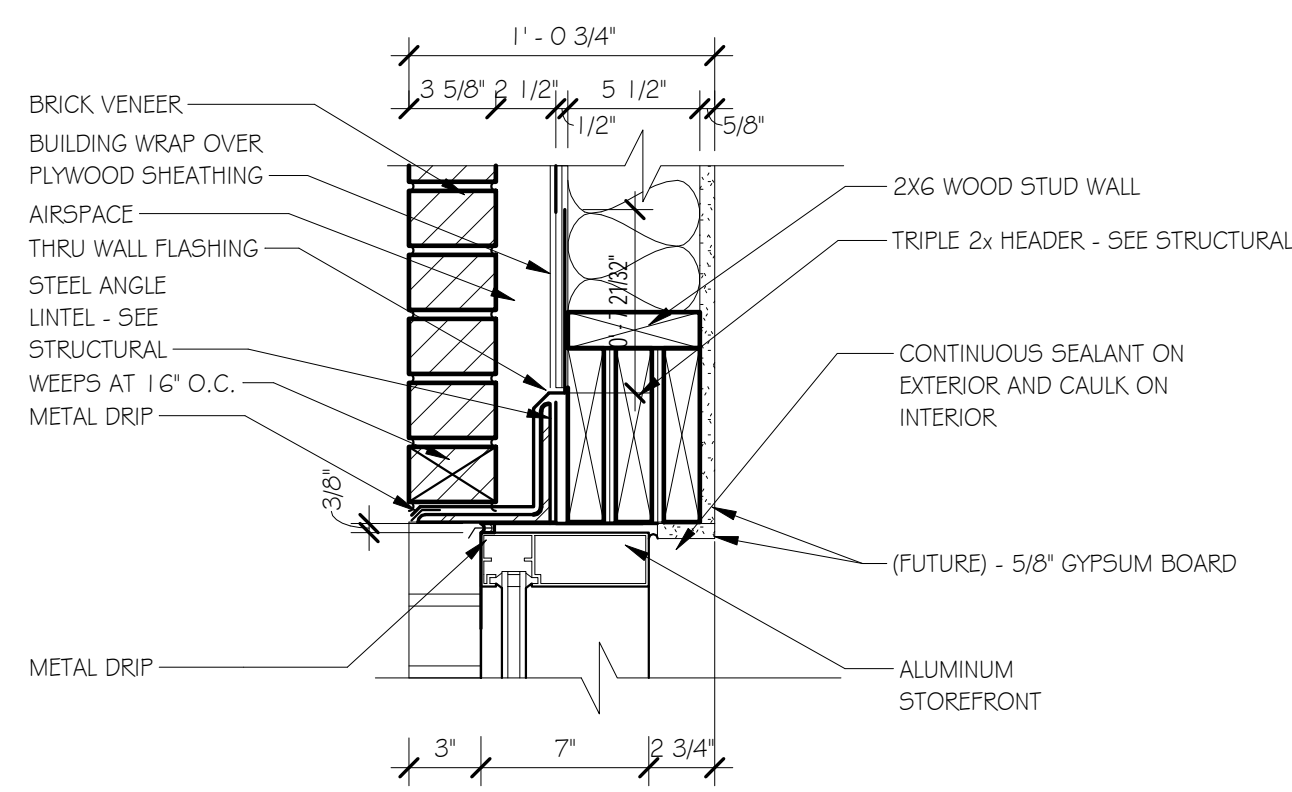
PROJECT DESCRIPTION		APPLICABLE CODES	CODE ANALYSIS		INDEX OF DRAWINGS												
<p>PROJECT DESCRIPTION: MERCANTILE AND BUSINESS RETAIL CENTER APPROXIMATELY 10,400 SQUARE FEET COLD DARK SHELL WITH ALL WOOD STRUCTURE, EXTERIOR WOOD STUD WALL WITH BRICK VENEER AND WITH ONLY A PERIMETER CONCRETE SLAB. FUTURE TENANTS UNDER SEPERATE PERMIT ARE RESPONSIBLE FOR RATED DEMISING WALLS IF REQUIRED, H.V.A.C., ELECTRICAL SYSTEMS, CONCRETE SLAB AND TOILETS TO MEET ADOPTED BUILDING CODE AND HANDICAP REQUIREMENTS.</p>		<ul style="list-style-type: none"> 2018 INTERNATIONAL BUILDING CODE (IBC) WITH LOCAL AMENDMENTS 2018 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL AMENDMENTS 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES 2018 INTERNATIONAL PLUMBING CODE (IPC) WITH LOCAL AMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE (IMC) WITH LOCAL AMENDMENTS 2018 INTERNATIONAL FUEL GAS CODE (IFGC) WITH LOCAL AMENDMENTS 2017 NATIONAL ELECTRICAL CODE (NEC) WITH LOCAL AMENDMENTS 2018 INTERNATIONAL FIRE CODE (IFC) WITH LOCAL AMENDMENTS 2018 LIFE SAFETY CODE (NFPA 101) WITH LOCAL AMENDMENTS 	<p>OCCUPANCY CLASSIFICATION MIXED USE / MERCANTILE / BUSINESS</p> <p>CONSTRUCTION TYPE TYPE 5B (UNPROTECTED) AND UNSPRINKLERED</p>		<p>GENERAL</p> <p>G1.00 GENERAL PROJECT DATA</p>												
<p>CONTACTS</p> <table border="1"> <tr> <th>ARCHITECTURAL</th> <th>STRUCTURAL</th> </tr> <tr> <td> W. MICHAEL STEWART ARCHITECT 540 GROVE ISLE CIR 103 VERO BEACH, FLORIDA 32962 615-476-6826 PROJECT MANAGER: Chris Alexander 615-767-4884 </td> <td> ELROD ENGINEERING 871 SEVEN OAKS BLVD. SUITE 220 SMYRNA, TN. 37167 615-890-9405 PRINCIPAL ENGINEER: WILLIAM LAMP, P.E. ELRODLLC.COM </td> </tr> <tr> <th>CIVIL</th> <th>MECHANICAL & PLUMBING</th> </tr> <tr> <td> HUDDLESTON-STEEL ENGINEERING INC. 2115 N.W. BROAD STREET MURFREESBORO, TN. 37129 615-893-4084 PROJECT ENGINEER: STEPHEN STEELE SSTEEL@HSENGR.COM </td> <td> HARPETH PARK ENGINEERING, LLC. 256 SEABOARD LANE, SUITE G101 FRANKLIN, TN. 37067 615-814-6001 PRJ. ENGINEER: CHRISTOPHER GRESHAM, P.E. CHRIS@HARPETHPARK.ENGINEERING </td> </tr> <tr> <th>LANDSCAPING</th> <th>ELECTRICAL</th> </tr> <tr> <td></td> <td> HARPETH PARK ENGINEERING, LLC. 256 SEABOARD LANE, SUITE G101 FRANKLIN, TN. 37067 615-814-6001 PRJ. ENGINEER: JAMES TRESS REED III, P.E. TRES@HARPETHPARK.ENGINEERING </td> </tr> </table>			ARCHITECTURAL	STRUCTURAL	W. MICHAEL STEWART ARCHITECT 540 GROVE ISLE CIR 103 VERO BEACH, FLORIDA 32962 615-476-6826 PROJECT MANAGER: Chris Alexander 615-767-4884	ELROD ENGINEERING 871 SEVEN OAKS BLVD. SUITE 220 SMYRNA, TN. 37167 615-890-9405 PRINCIPAL ENGINEER: WILLIAM LAMP, P.E. ELRODLLC.COM	CIVIL	MECHANICAL & PLUMBING	HUDDLESTON-STEEL ENGINEERING INC. 2115 N.W. BROAD STREET MURFREESBORO, TN. 37129 615-893-4084 PROJECT ENGINEER: STEPHEN STEELE SSTEEL@HSENGR.COM	HARPETH PARK ENGINEERING, LLC. 256 SEABOARD LANE, SUITE G101 FRANKLIN, TN. 37067 615-814-6001 PRJ. ENGINEER: CHRISTOPHER GRESHAM, P.E. CHRIS@HARPETHPARK.ENGINEERING	LANDSCAPING	ELECTRICAL		HARPETH PARK ENGINEERING, LLC. 256 SEABOARD LANE, SUITE G101 FRANKLIN, TN. 37067 615-814-6001 PRJ. ENGINEER: JAMES TRESS REED III, P.E. TRES@HARPETHPARK.ENGINEERING	<p>ALLOWABLE HEIGHT AND AREA HEIGHT - 22'-0" - ALLOWED 40'-0" ONE STORY AREA 10,400 S.F. - ALLOWED 9,000 S.F. (WITH AREA INCREASE) ALLOWED 12,330 S.F. (TABLE 506.2) FRONTAGE INCREASE (506.3.2)</p> <p>MAXIMUM TRAVEL DISTANCE 100 FEET</p> <p>FIRE WALL (BUILDING SEPARATION) NOT REQUIRED</p> <p>INTERIOR BEARING PARTITIONS NO RATING</p> <p>ROOF / CEILING NO RATING - NON COMBUSTABLE</p> <p>COLUMNS SUPPORTING ONLY NO RATING</p> <p>BEAMS, GIRDERS, TRUSSES, & ARCHES SUPPORTING ROOF ONLY NO RATING</p> <p>EXTERIOR WALL RATING NO RATING</p> <p>CORRIDOR PARTITIONS RESIST THE PASSAGE OF SMOKE</p> <p>STORAGE AREAS & ELECT. CLOS. RESIST THE PASSAGE OF SMOKE</p>		<p>CIVIL</p> <p>1 SITE PLAN 2 DRAINAGE AND GRADING 3 EXISTING CONDITIONS AND DEMOLITION</p> <p>LANDSCAPING</p> <p>4 LANDSCAPE PLAN</p> <p>ARCHITECTURAL</p> <p>A1.00 FLOOR PLAN A1.01 ROOF PLAN A2.00 EXTERIOR ELEVATIONS A3.00 WALL SECTIONS A3.01 WALL SECTIONS A3.02 WALL SECTIONS A3.03 WALL SECTIONS</p>
ARCHITECTURAL	STRUCTURAL																
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<p>VICINITY MAP</p>		<p>STRUCTURAL</p> <p>S-1 FOUNDATION ROOF FRAMING S-2 DETAILS AND NOTES S-3 FRAME ELEV. AND DETAILS S-4 FRAME DETAILS</p> <p>MECHANICAL & PLUMBING</p> <p>MP-1 MECHANICAL & PLUMBING PLAN</p> <p>ELECTRICAL</p> <p>E1 ELECTRICAL SITE PLAN E2 ELECTRICAL FLOOR PLAN E3 ELECTRICAL SPECS. & DETAILS</p>															

REVISION AUGUST 18, 2021

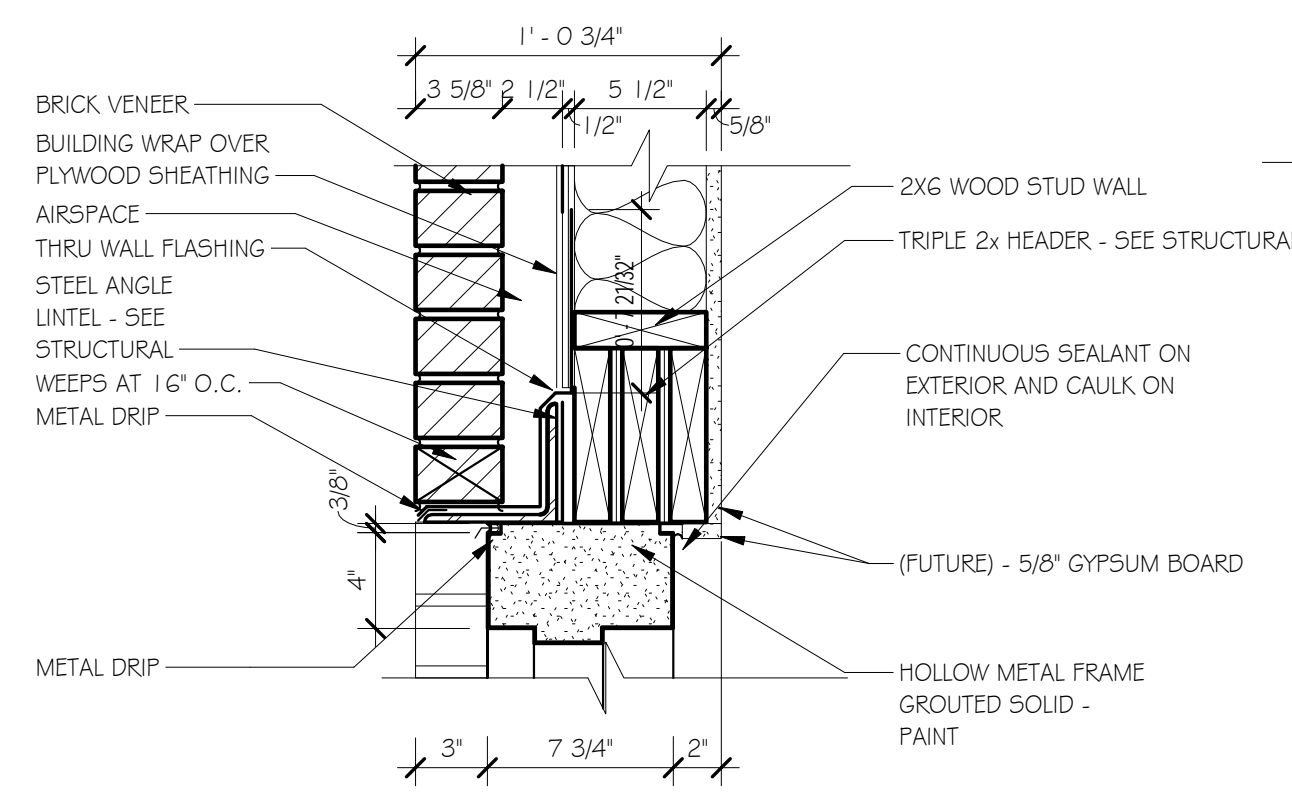


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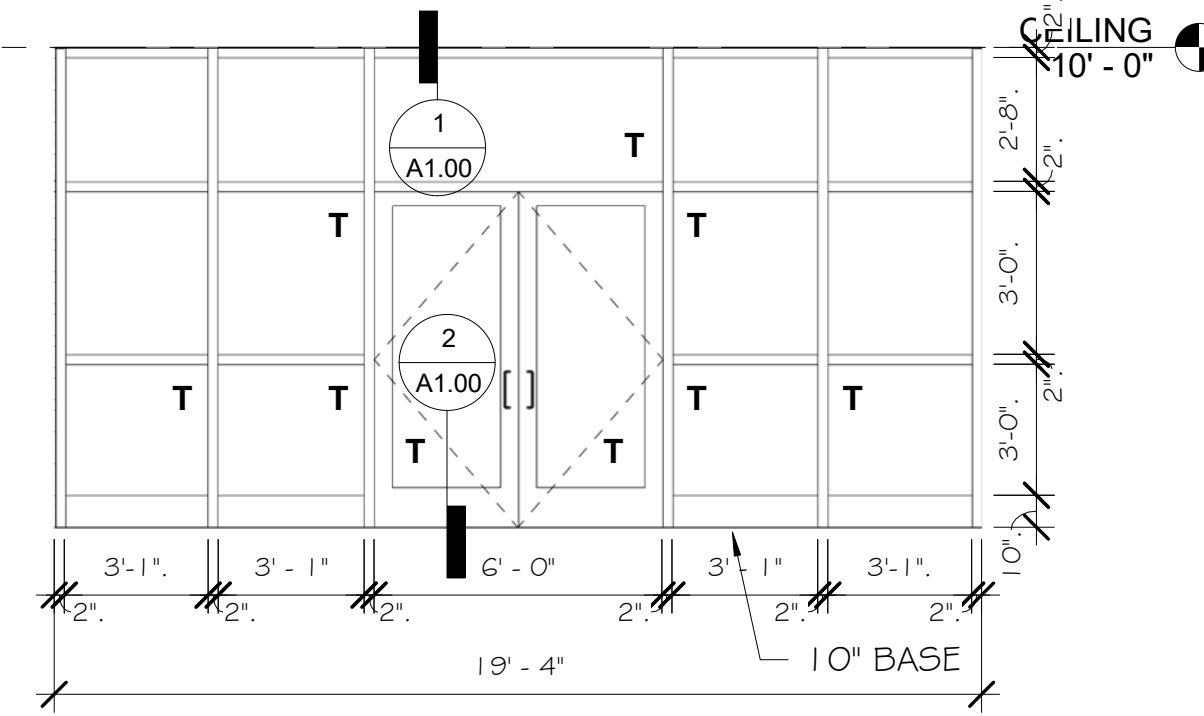
G1.00



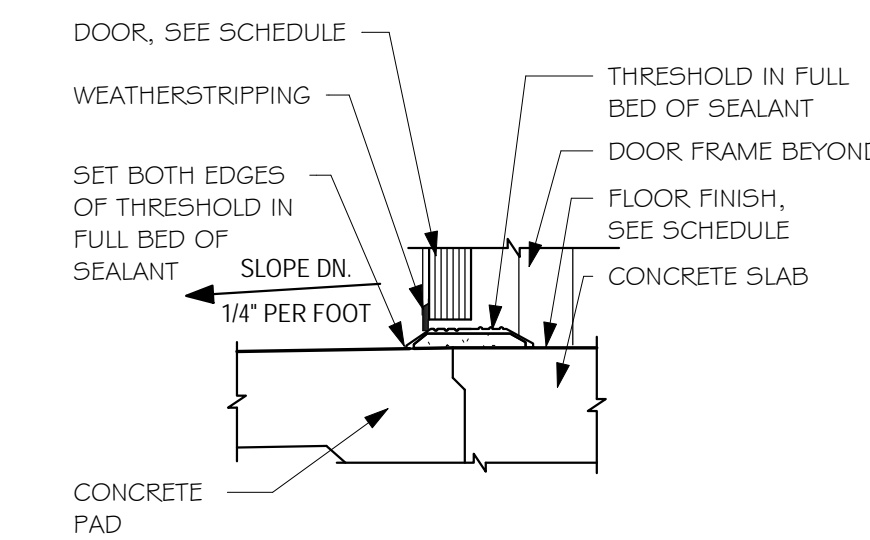
1 DOOR ALUM HEAD BRICK DTL
1 1/2" = 1'-0"
JAMB SIMILAR



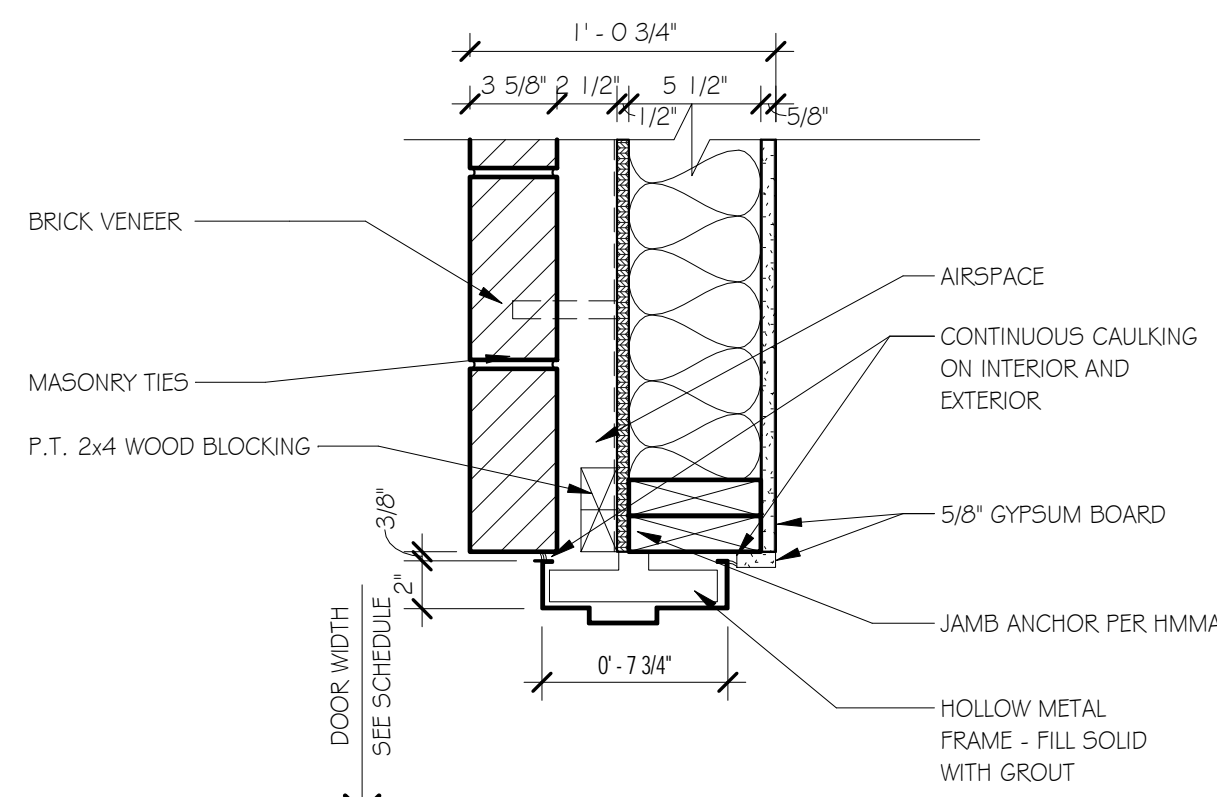
3 DOOR HEAD BRICK DTL
1 1/2" = 1'-0"



5 STOREFRONT ELEVATION
1/4" = 1'-0"



2 DOOR SILL DTL
1 1/2" = 1'-0"



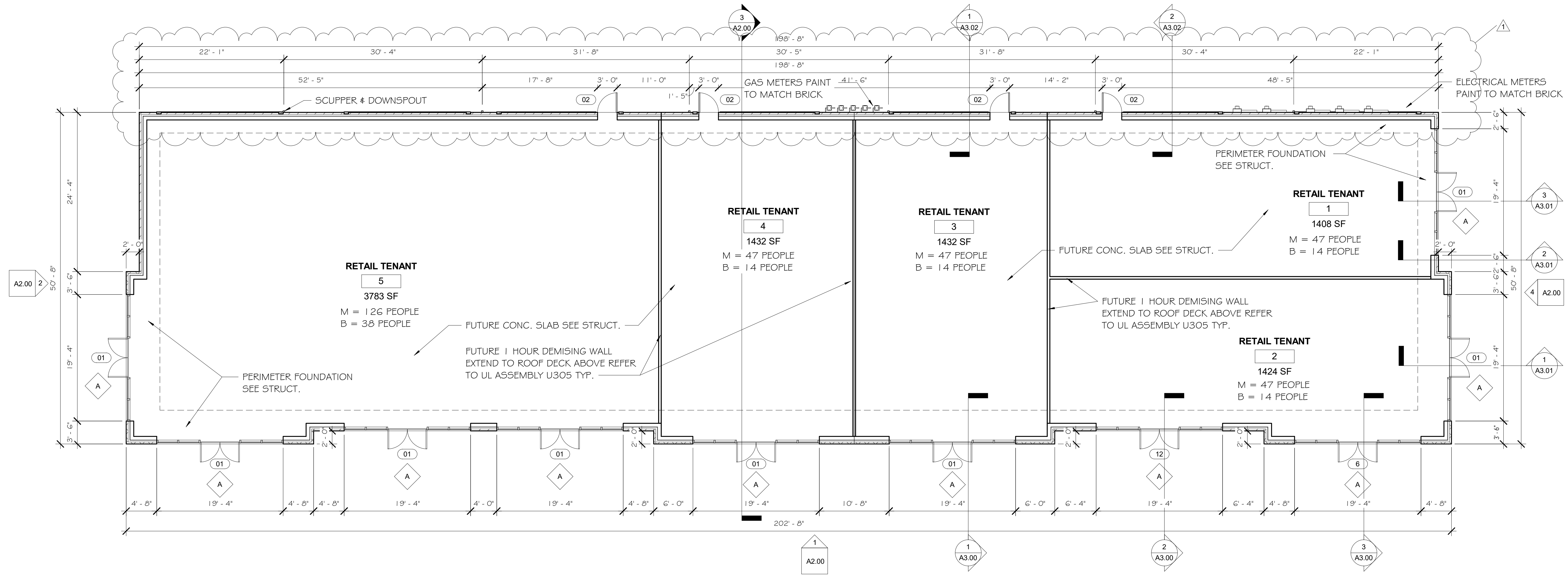
4 DOOR JAMB BRICK DTL
1 1/2" = 1'-0"

GENERAL NOTES:

1. THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR AND REASONABLY INCIDENTAL TO THE COMPLETION OF ALL WORK AS ILLUSTRATED AND DESCRIBED IN THESE DRAWINGS. ALL SUCH WORK IS TO BE DONE BY THE GENERAL CONTRACTOR, UNLESS NOTED OTHERWISE.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED BUILDING PERMITS, AND, FOR INSURING THAT ALL WORK CONFORMS TO APPLICABLE BUILDING CODES.
3. THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS REGARDING CONSTRUCTION, MATERIAL DISPOSAL, AND SAFETY.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SAFE AND HAZARD-FREE CONDITIONS AT ALL TIMES DURING CONSTRUCTION.
5. THE GENERAL CONTRACTOR SHALL HAVE DIRECT CONTROL AND MANAGEMENT OF ALL CONSTRUCTION OPERATIONS AND BE RESPONSIBLE FOR THE SATISFACTORY OVERALL PERFORMANCE OF ALL HIS SUPPLIERS AND SUBCONTRACTORS, AS WELL AS ALL ASSIGNED CONTRACTORS.
6. ALL EXTERIOR WOOD BLOCKING, BRACING AND/OR SHEATHING TO BE PRESSURE-TREATED MATERIAL.
7. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THESE PLANS AND NOTIFY ARCHITECT OF ANY DISCREPANCY.
8. FULLY INSULATE ALL PIPING IN EXTERIOR WALLS AND IN CHASES ADJACENT TO EXTERIOR WALLS.
9. MECHANICAL AND ELECTRICAL APPARATUS PENETRATING WALLS AT EXPOSED STRUCTURE AREAS SHALL BE SEALED AIR TIGHT.
10. ALL PENETRATIONS THROUGH RATED ASSEMBLIES (WHERE APPLICABLE) SHALL BE FIRE RATED PER CODE.
11. WHERE COLOR AND DESIGN SELECTIONS ARE REQUIRED, THE GENERAL CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT FOR SELECTION AND APPROVAL.
12. GENERAL CONTRACTOR IS RESPONSIBLE FOR TURNING OVER THE PREMISES IN A CLEAN CONDITION.
13. GUARANTEE: ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR (MINIMUM) FROM THE DATE OF SUBSTANTIAL COMPLETION, UNLESS SPECIFIED OTHERWISE FOR A LONGER PERIOD OF TIME ON SPECIFIED ITEMS.

DOORS:

- | | |
|--|--|
| 01 - TYP STOREFRONT EXIT DOOR
3'-0" W X 7'-0" ALUMINUM DOOR
MEDIUM STYLE
3 BUTTS
ADA THRESHOLD
MFR. STANDARD PUSH / PULL
TEMPERED GLASS
WEATHER STRIPPING | 02 - TYP REAR EXIT DOOR
3'-0" W X 6'-8" H INSUL. METAL DOOR
HOLLOW METAL FRAME
3 BUTTS
ADA THRESHOLD
LEVER HANDLE INTERIOR AND EXTERIOR
LOCK SET W/ NO SEPERTATE DEAD BOLT |
|--|--|



A FLOOR PLAN
1/8" = 1'-0"

W. Michael Stewart
Architect

540 Grove Isle Cir. 103
Vero Beach, Florida 32962

SIMMONS
RETAIL CENTER
2121 NORTHWAEST BROAD
MURFREESBORO, TENNESSEE

REVISION AUGUST 18, 2021

FLOOR PLAN & DETAILS
SCALE 1/8" = 1'-0"



01/14/2020

A1.00

GENERAL NOTES:

1. VERIFY ALL ROOF OPENINGS, SIZES AND LOCATIONS WITH MECHANICAL AND PLUMBING CONTRACTORS PRIOR TO PENETRATING ROOF SYSTEM.
2. CONTRACTOR SHALL FLASH ALL PENETRATIONS THROUGH ROOF SYSTEM. VERIFY MECHANICAL, PLUMBING AND ELECTRICAL ROOF OPENINGS.
3. ROOFING CONTRACTOR SHALL DESIGN AND INSTALL ALL FLASHING AND COUNTER-FLASHING.
4. ALL FUTURE TENANT ROOF-TOP EQUIPMENT, PLUMBING AND MECHANICAL WORK SHALL BE INSTALLED PER BUILDING CODE.
5. ALL FUTURE TENANT ROOF PENETRATIONS AND NEW ROOF PLY STRIP-IN SHALL BE MADE BY THE LANDLORDS ROOFING CONTRACTOR FOR MAINTENANCE OF ROOF SYSTEM WARRANTY.
6. CONTRACTOR SHALL LOCATE AND ROUTE EQUIPMENT AS INDICATED BY THE MECHANICAL DRAWINGS.
7. VERIFY ALL ROOF OPENINGS, SIZES AND LOCATIONS WITH MECHANICAL CONTRACTOR PRIOR TO SETTING FRAMES AND SUPPORTS
8. SEE MECHANICAL AND PLUMBING DRAWINGS FOR EQUIPMENT AND PENETRATIONS.

**W. Michael Stewart
Architect**

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Vero Beach, Florida 32962

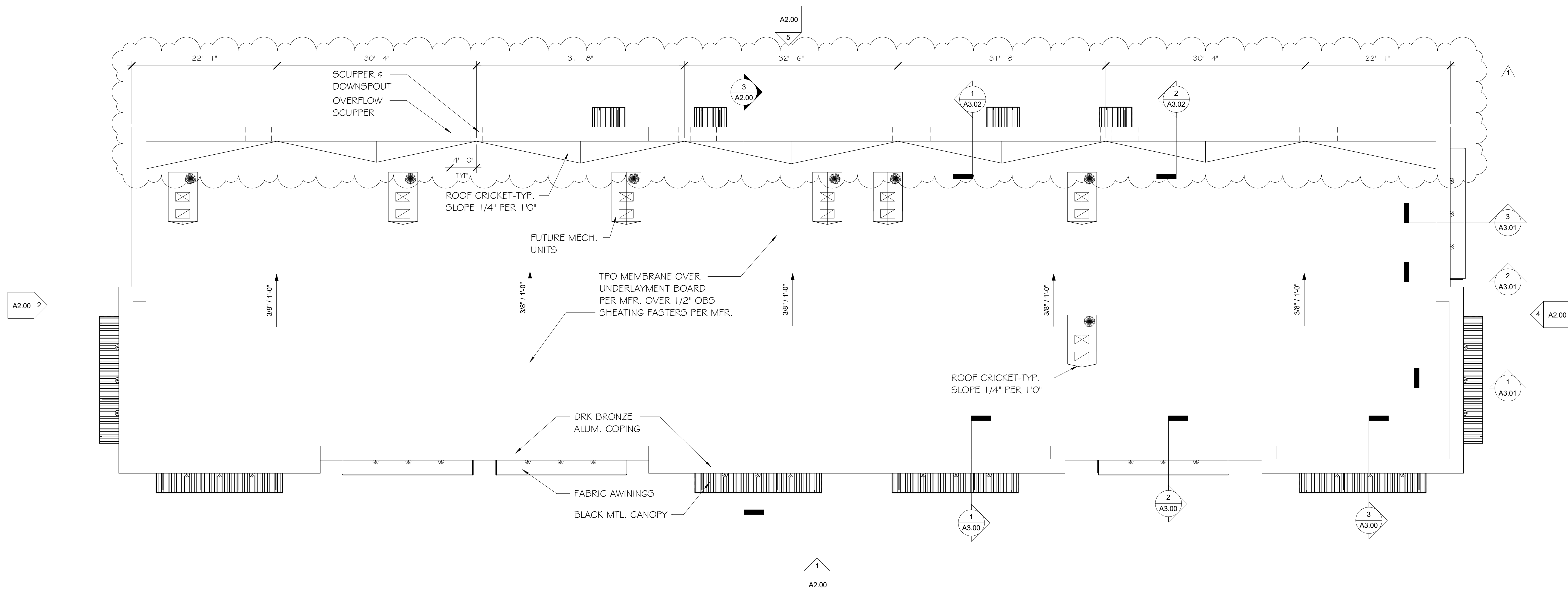
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MURFREESBORO, TENNESSEE

REVISION AUGUST 18, 2021
ROOF PLAN
SCALE 1/8" = 1'-0"

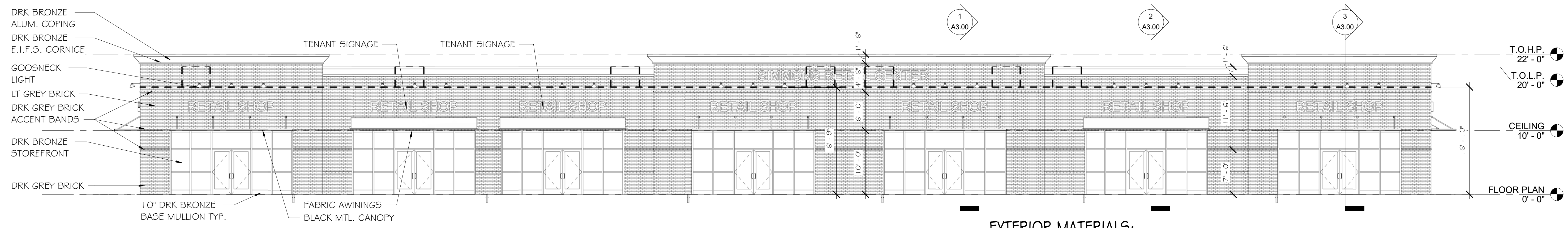


01/14/2020

A1.01



① ROOF PLAN
1/8" = 1'-0"

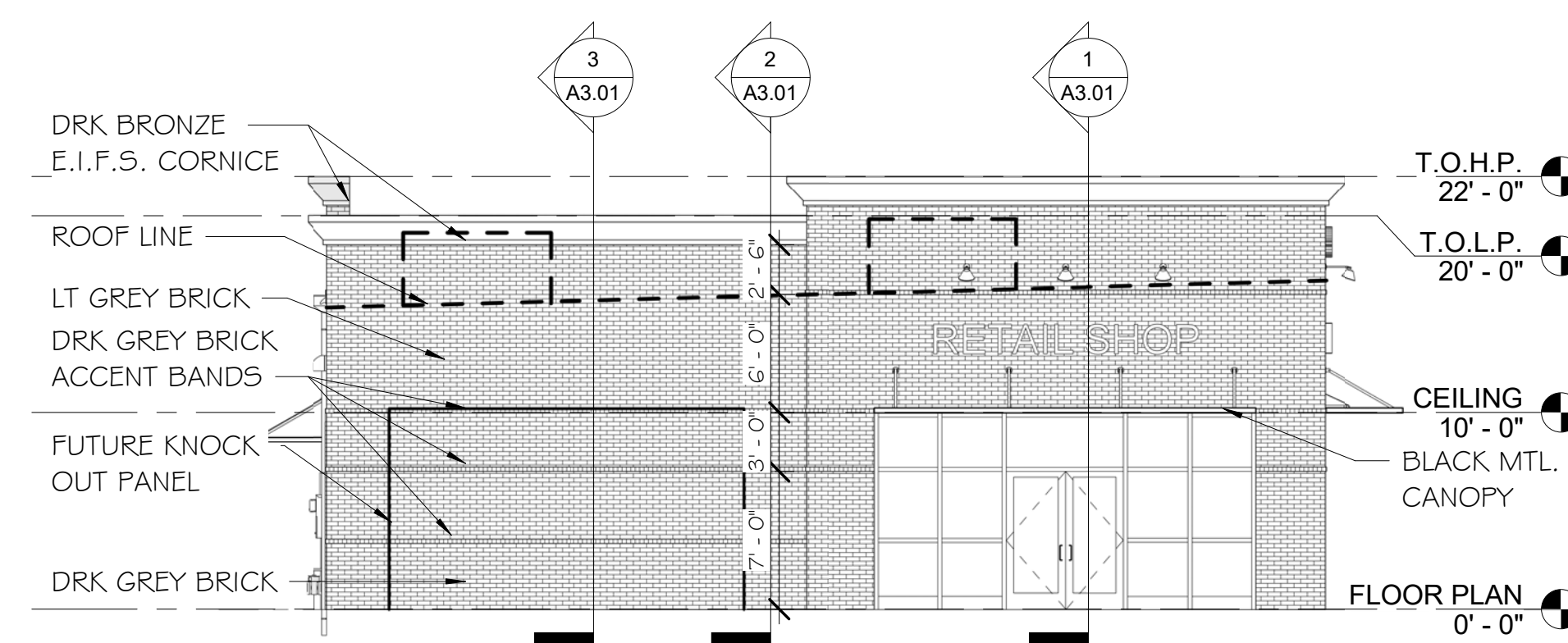


1 SOUTH SIDE ELEVATION
1/8" = 1'-0"

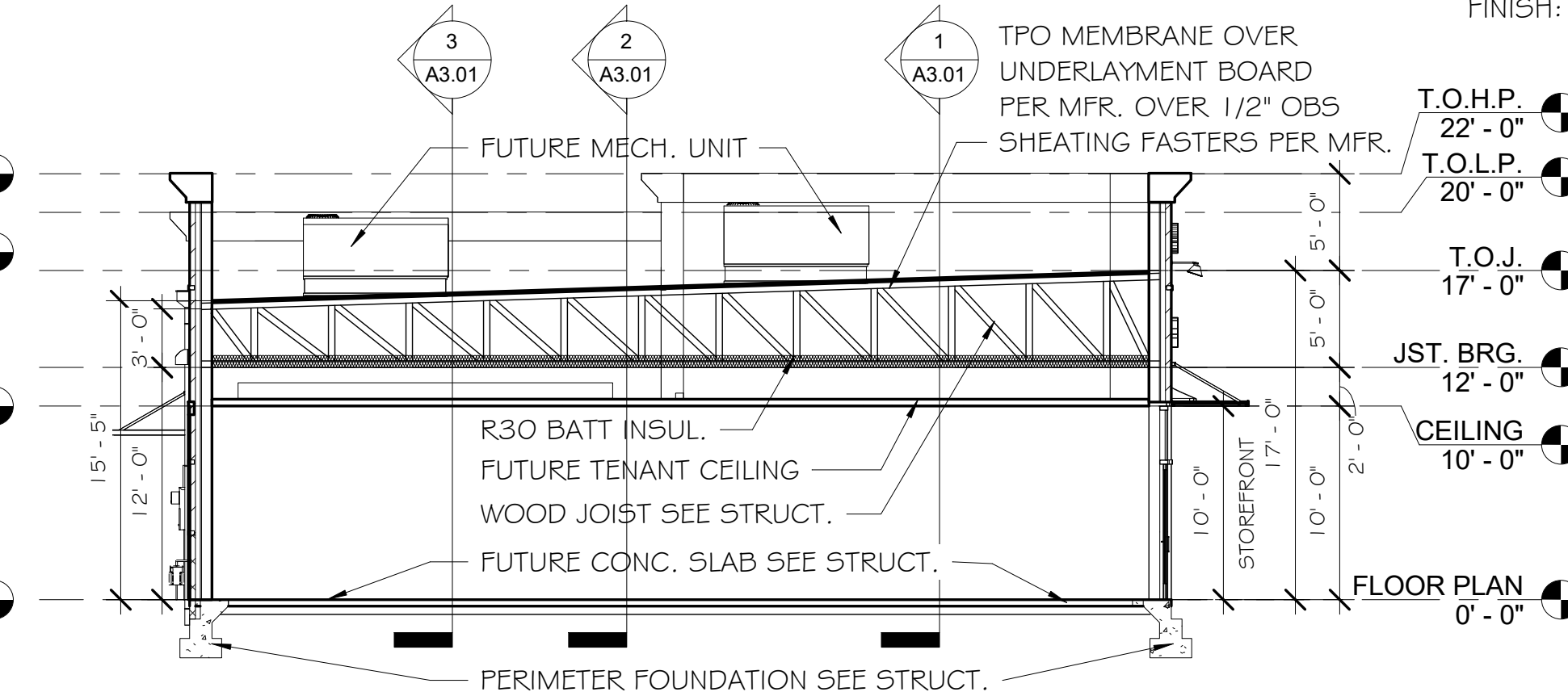
FAÇADE SURFACE AREA:
MASS AREA 3,890 S.F.
VOID GLASS AREA 1,383 S.F. 35%

EXTERIOR MATERIALS:

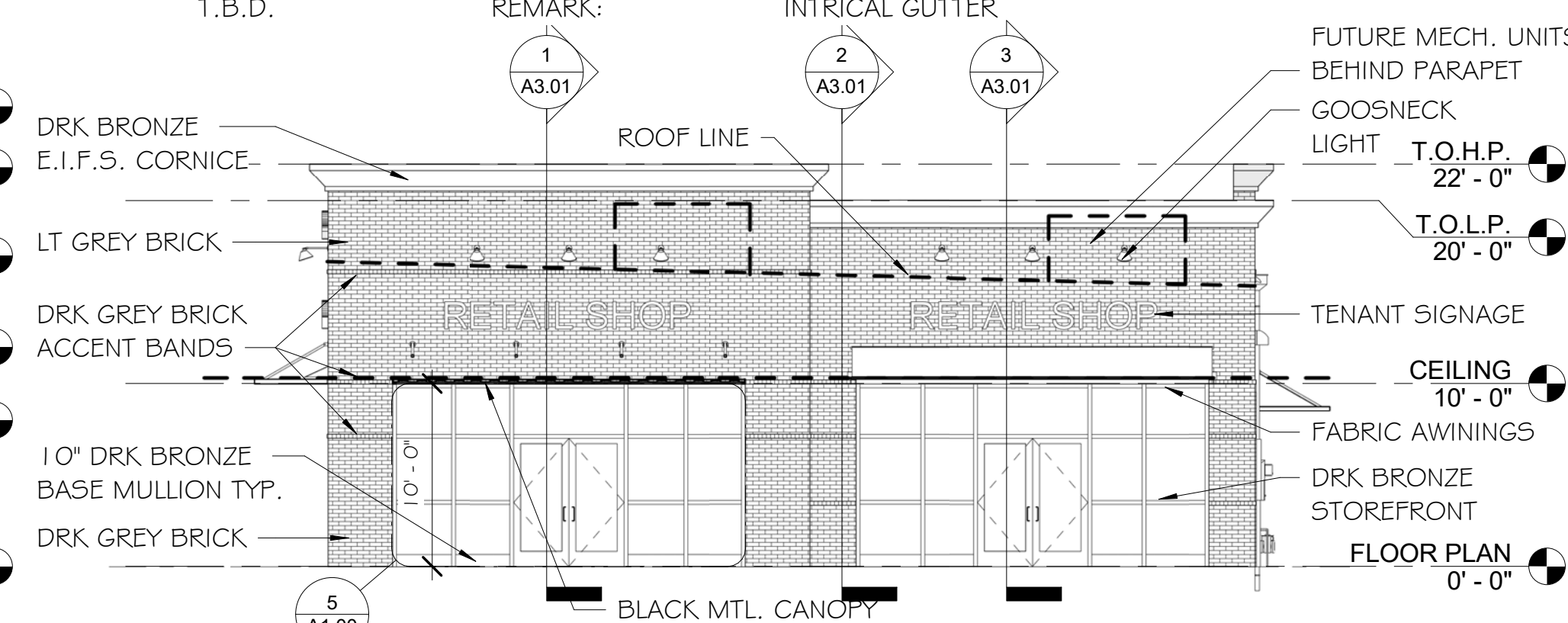
DARK GREY BRICK MANUFACTURE: T.B.D. STYLE / SIZE: MODULAR COLOR: T.B.D. MOTAR COLOR: T.B.D.	STOREFRONT MANUFACTURE: T.B.D. STYLE / SIZE: 2"x4" ALUMINUM COLOR: DARK BRONZE MOTAR COLOR: T.B.D.	AWININGS MANUFACTURE: T.B.D. STYLE / SIZE: FABRIC / METAL COLOR: BLACK / BLACK REMARK: 3'-0" OVERHANG
LITE GREY BRICK MANUFACTURE: T.B.D. STYLE / SIZE: MODULAR COLOR: T.B.D. MOTAR COLOR: T.B.D.	GLAZING MANUFACTURE: T.B.D. STYLE / SIZE: 1" INSULATED LOW-E COLOR: LITE GREY	GOOSE NECK LIGHTS MANUFACTURE: T.B.D. STYLE / SIZE: T.B.D. COLOR: BLACK
E.I.F.S. - EXTERIOR INSUL. FIN. SYS. MANUFACTURE: T.B.D. STYLE / SIZE: MODULAR COLOR: T.B.D. FINISH: T.B.D.	METAL CANOPY MANUFACTURE: T.B.D. STYLE / SIZE: METAL RECTANGULAR COLOR: BLACK REMARK: INTRICAL GUTTER	WALL SCUNCES MANUFACTURE: T.B.D. STYLE / SIZE: 4" UP / DOWN COLOR: BLACK



2 WEST REAR ELEVATION
1/8" = 1'-0"

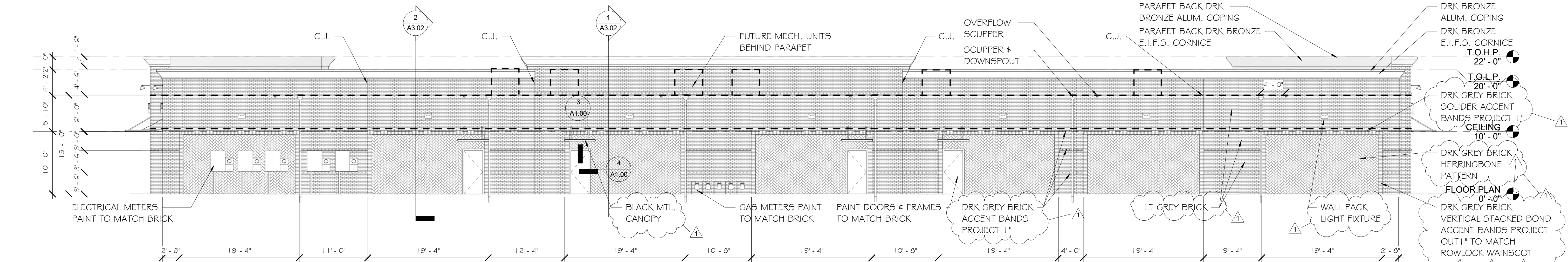


3 BUILDING SECTION
1/8" = 1'-0"



4 EAST FRONT ELEVATION
1/8" = 1'-0"

FAÇADE SURFACE AREA:
MASS AREA 966 S.F.
VOID GLASS AREA 395 S.F. 40%



5 NORTH SIDE ELEVATION
1/8" = 1'-0"

GENERAL NOTES:

1. DARK BRONZE CORNICE COLOR TO MATCH SELECTED ALUMINUM STOREFRONT COLOR.
2. ALL STOREFRONT NOM. 4 1/2"x 1 3/4" ALUMINUM WITH THERMAL BREAK, ALL GLASS 1" TEMPERED WHERE INDICATED. TINT TO BE SELECTED BY OWNER.
3. ALL TENANT SIGNAGE ARE REQUIRED TO BE SUBMITTED FOR APPROVAL TO MEET CITY REQUIREMENT.
4. ALL MECHANICAL UNITS ON ROOF SHALL BE SCREENED FROM PUBLIC VIEW.
5. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE CITIES DESIGN STANDARDS, CHANGES TO ELEVATIONS SHALL NOT BE MADE WITH OUT PRIOR APPROVAL FROM THE CITY.

W. Michael Stewart
Architect

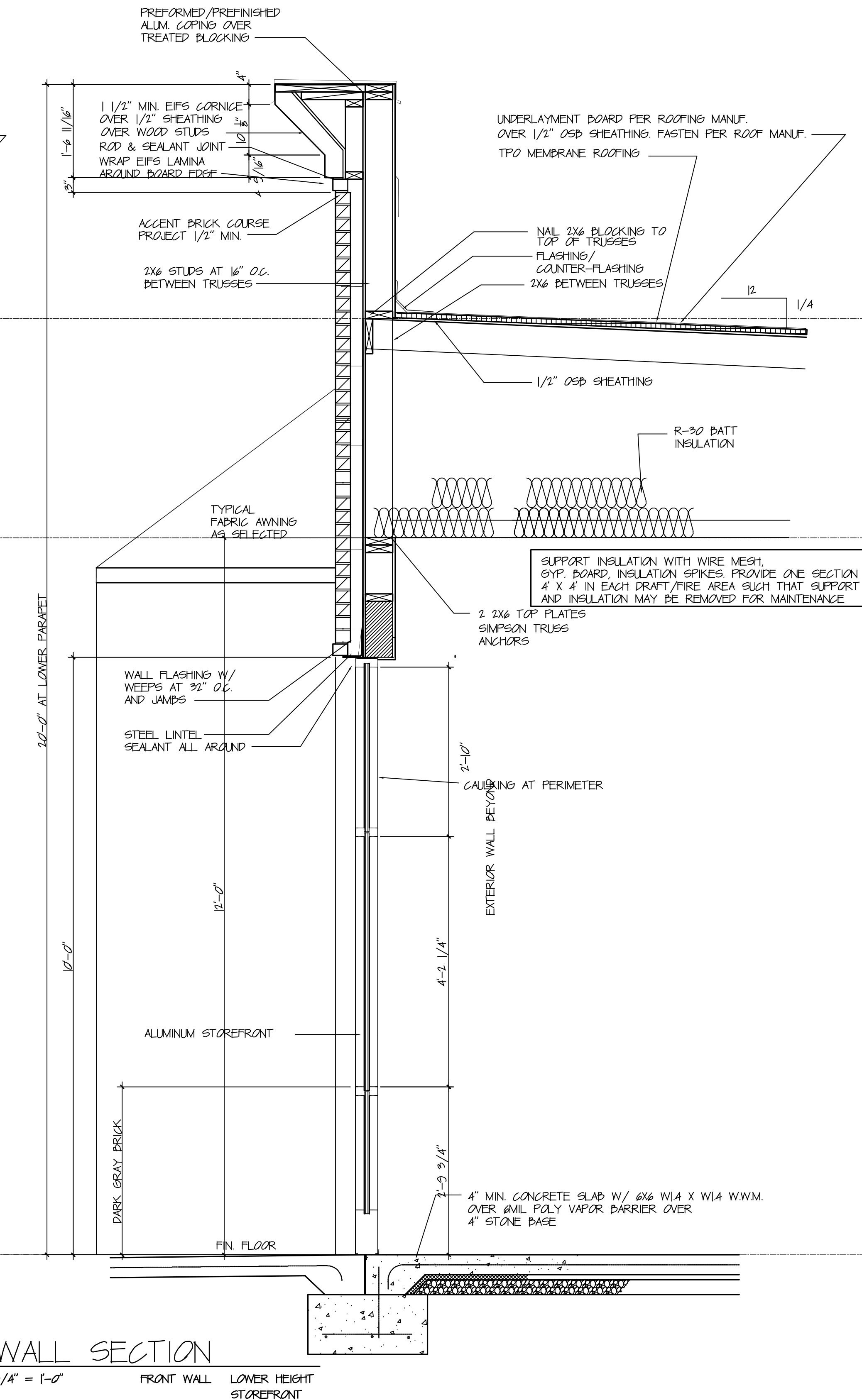
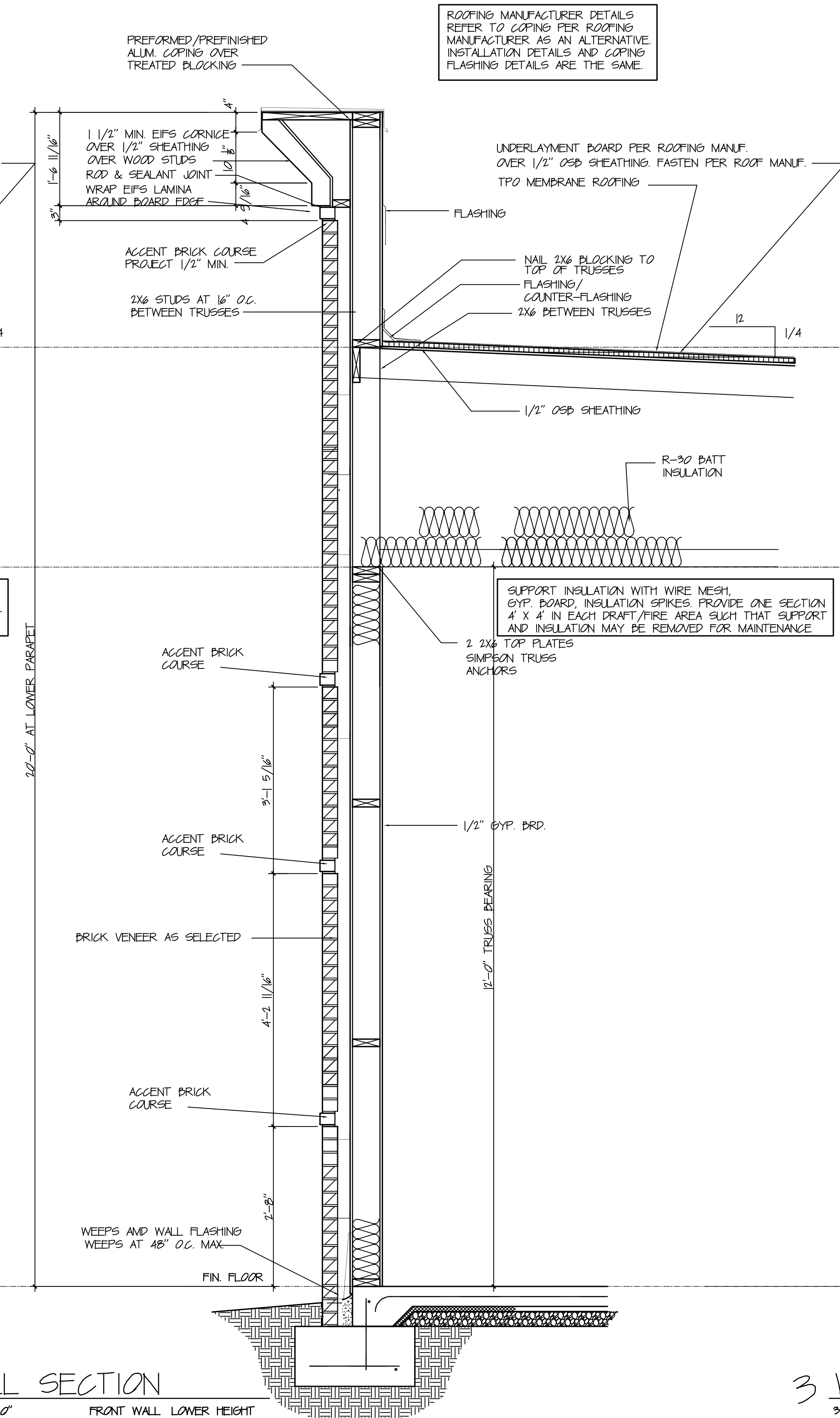
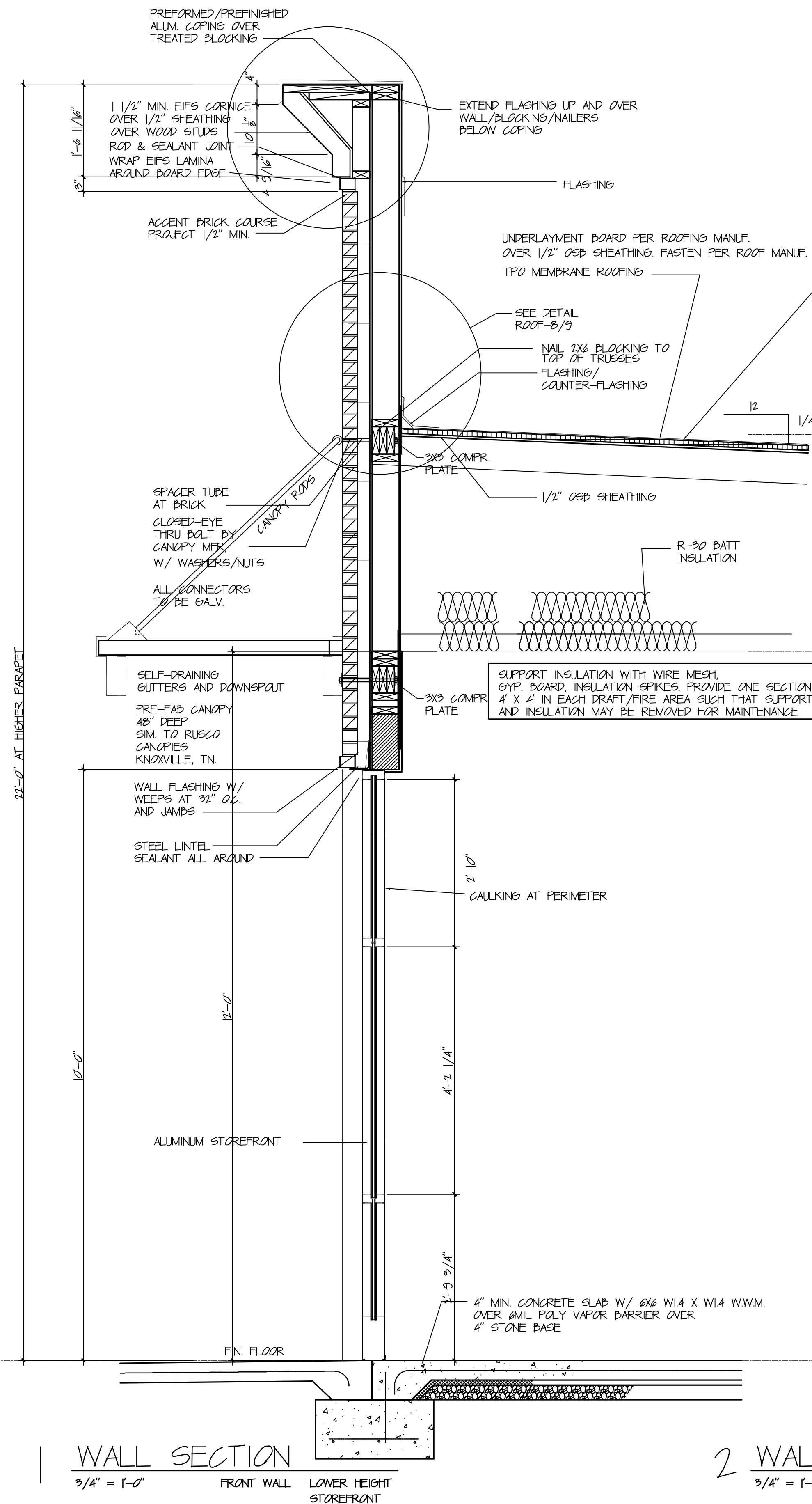
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01/14/2020

A2.00



ROOFING MANUFACTURER DETAILS REFER TO COPING PER ROOFING MANUFACTURER AS AN ALTERNATIVE. INSTALLATION DETAILS AND COPING FLASHING DETAILS ARE THE SAME.

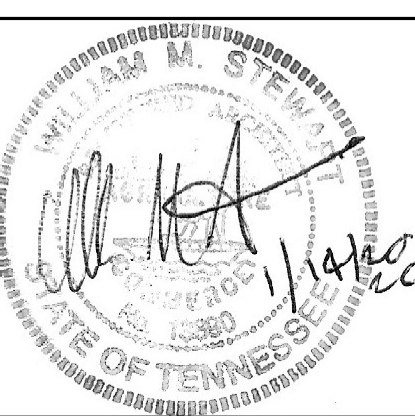
SUPPORT INSULATION WITH WIRE MESH, GYP. BOARD, INSULATION SPIKES. PROVIDE ONE SECTION 4' X 4' IN EACH DRAFT/FIRE AREA SUCH THAT SUPPORT AND INSULATION MAY BE REMOVED FOR MAINTENANCE

SUPPORT INSULATION WITH WIRE MESH, GYP. BOARD, INSULATION SPIKES. PROVIDE ONE SECTION 4' X 4' IN EACH DRAFT/FIRE AREA SUCH THAT SUPPORT AND INSULATION MAY BE REMOVED FOR MAINTENANCE

W. Michael Stewart
Architect

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WALL SECTIONS

 JANUARY 14, 2010
 DECEMBER 20, 2011
 SCALE: 3/4" = 1'-0"

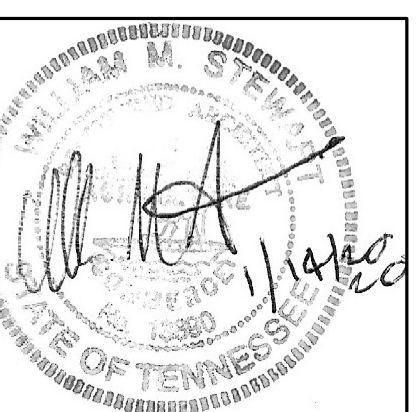
A3.00

W. Michael Stewart
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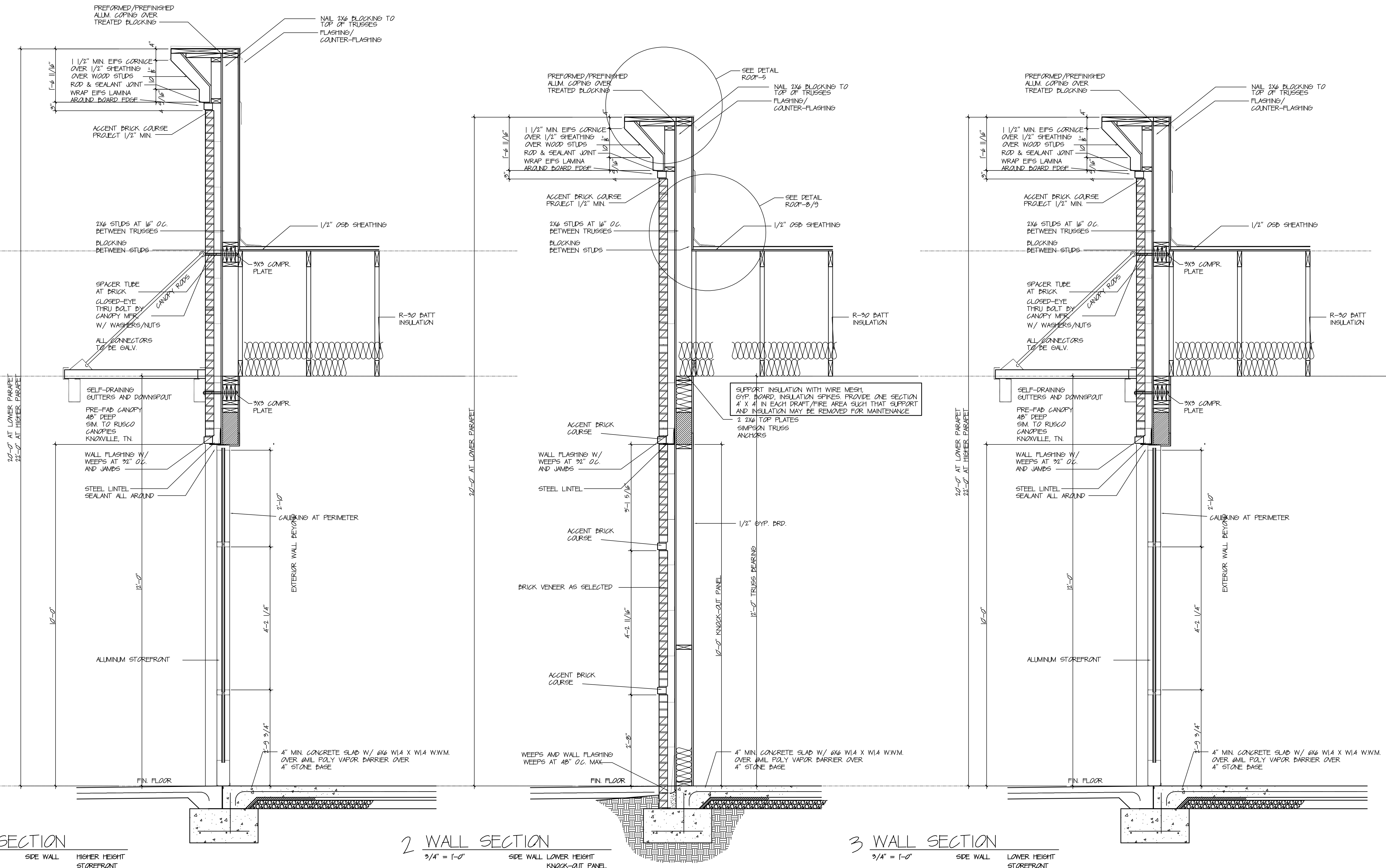
SIMMONS
RETAIL CENTER
MURFREESBORO, TENNESSEE

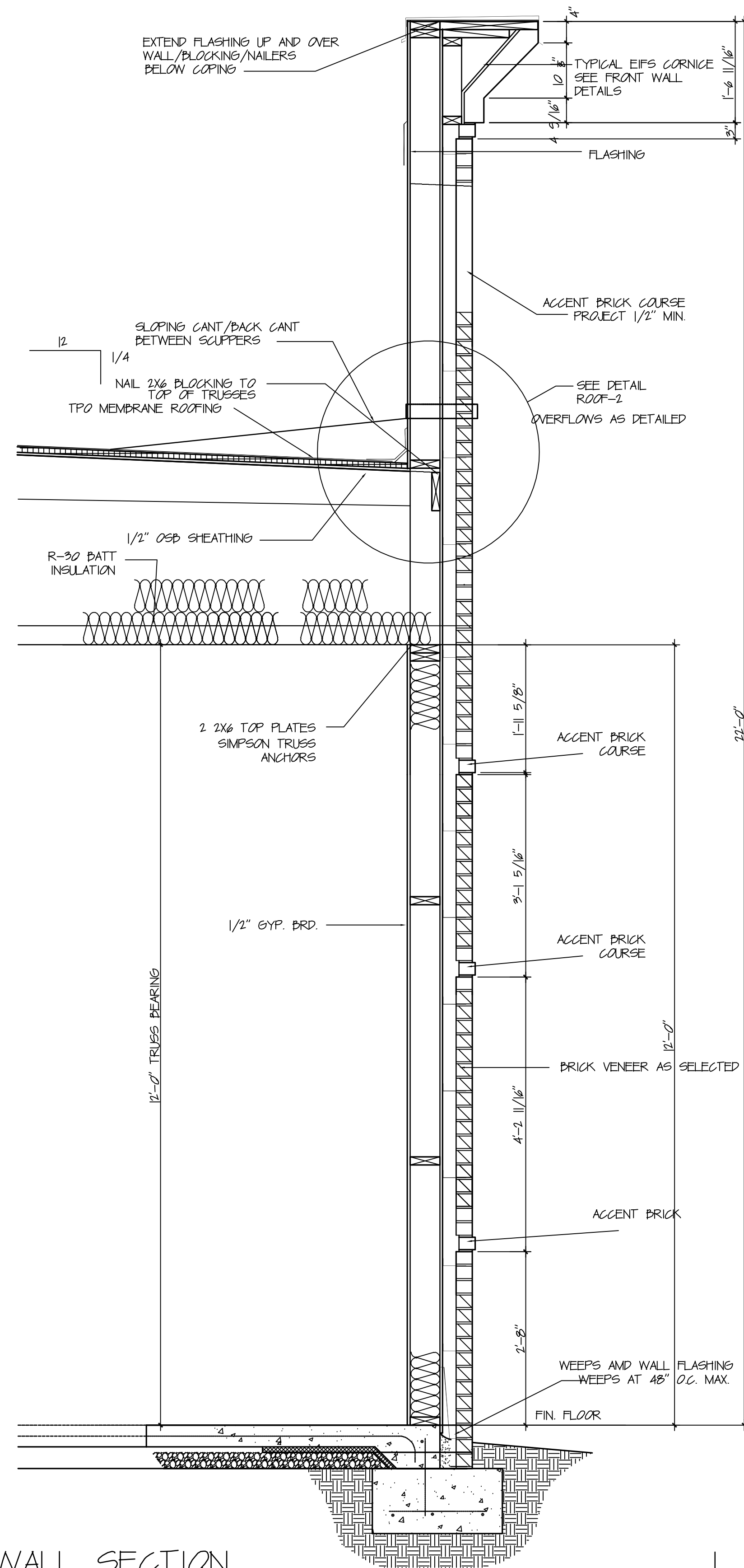
WALL SECTIONS



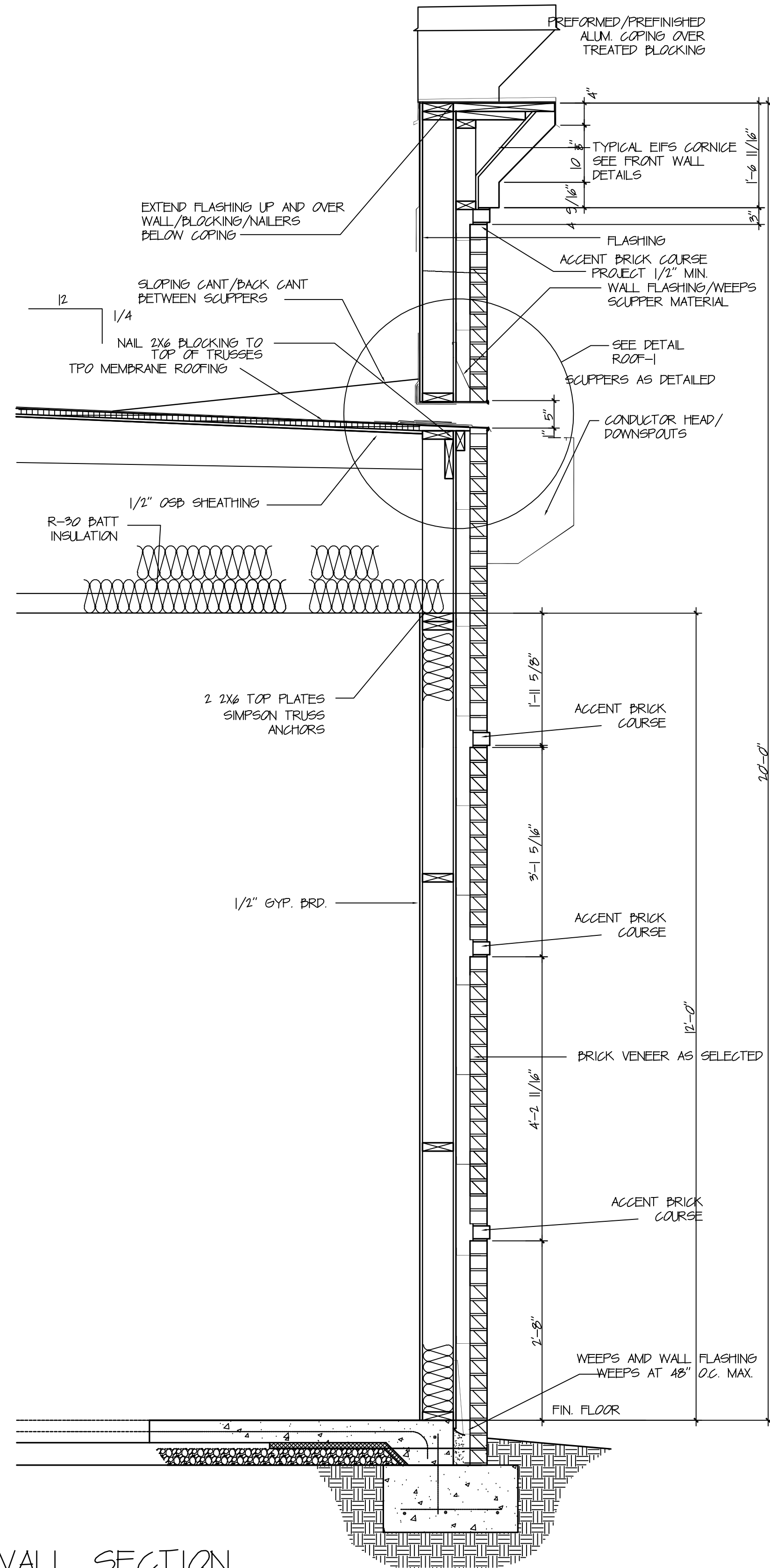
JANUARY 14, 2010
DECEMBER 20, 2011
SCALE: 3/4" = 1'-0"

A3.01





WALL SECTION
 3/4" = 1'-0" REAR WALL UPPER HEIGHT



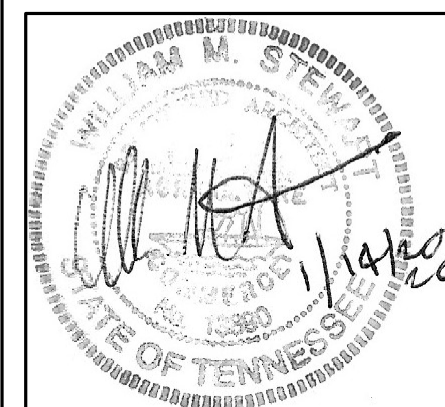
WALL SECTION
 3/4" = 1'-0" REAR WALL LOWER HEIGHT SCUPPERS

W. Michael Stewart
 Architect

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 Vero Beach, Florida 32962

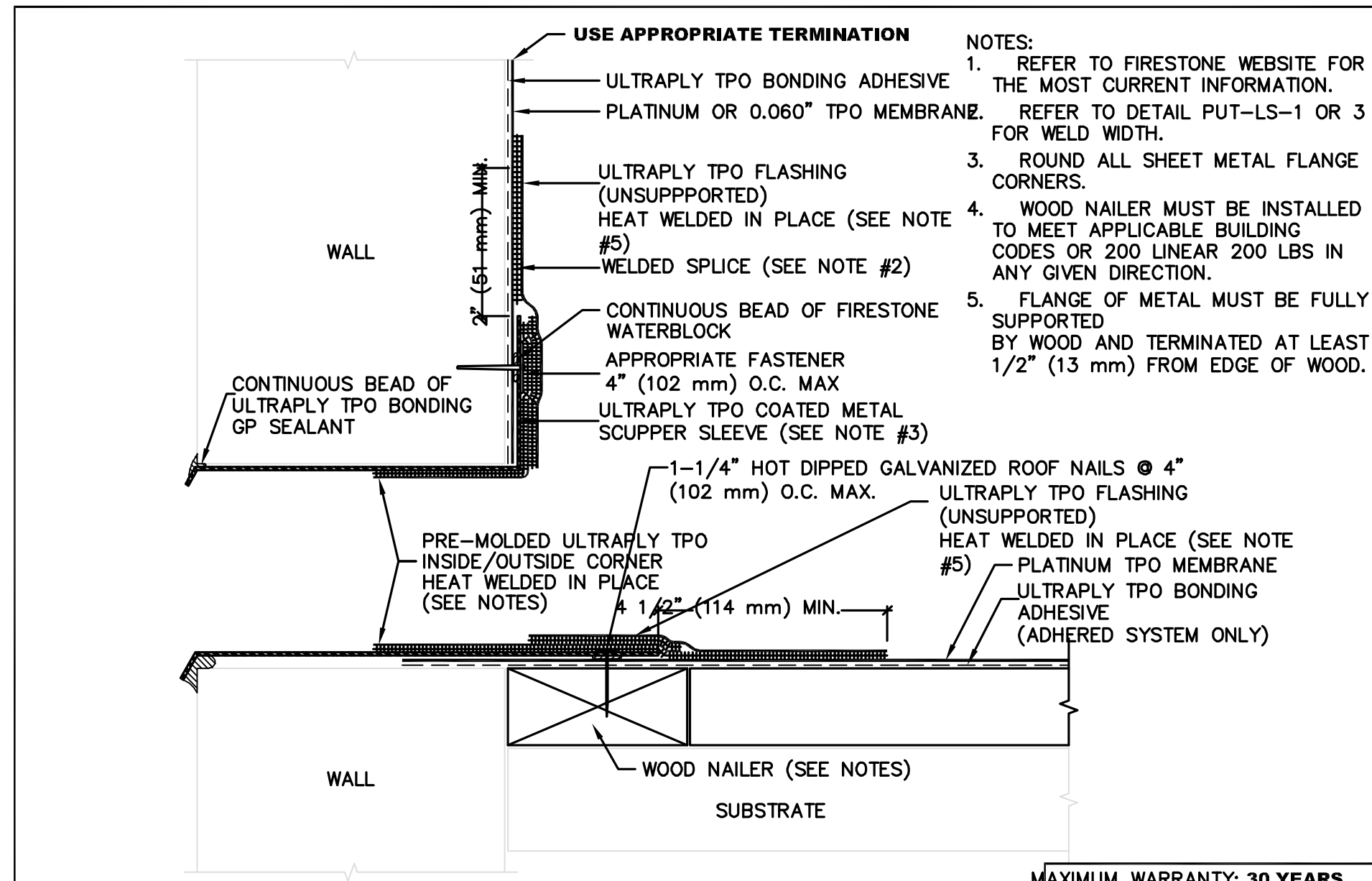
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WALL SECTIONS

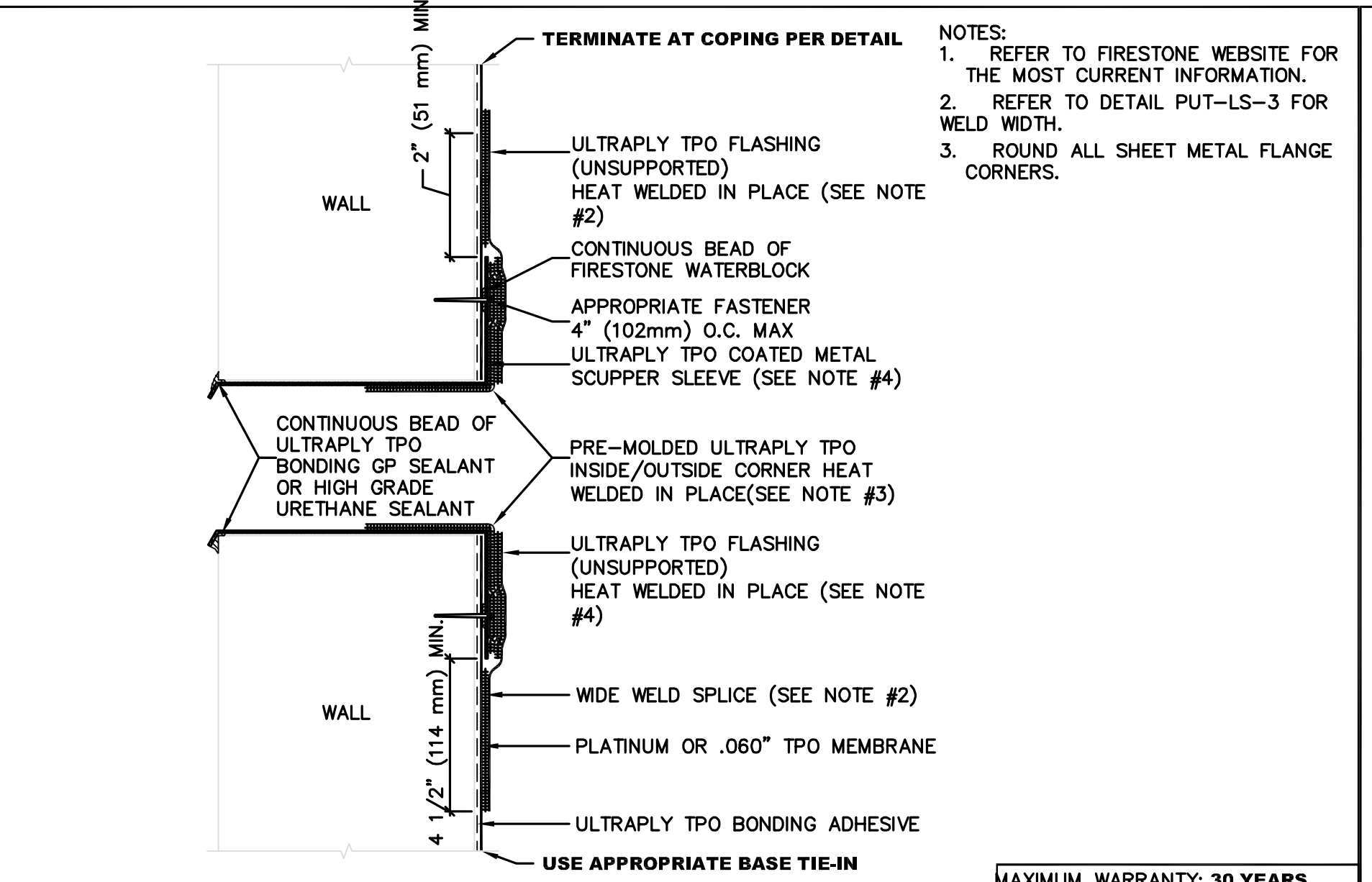


JANUARY 14, 2010
 DECEMBER 10, 2011
 SCALE: 3/4" = 1'-0"

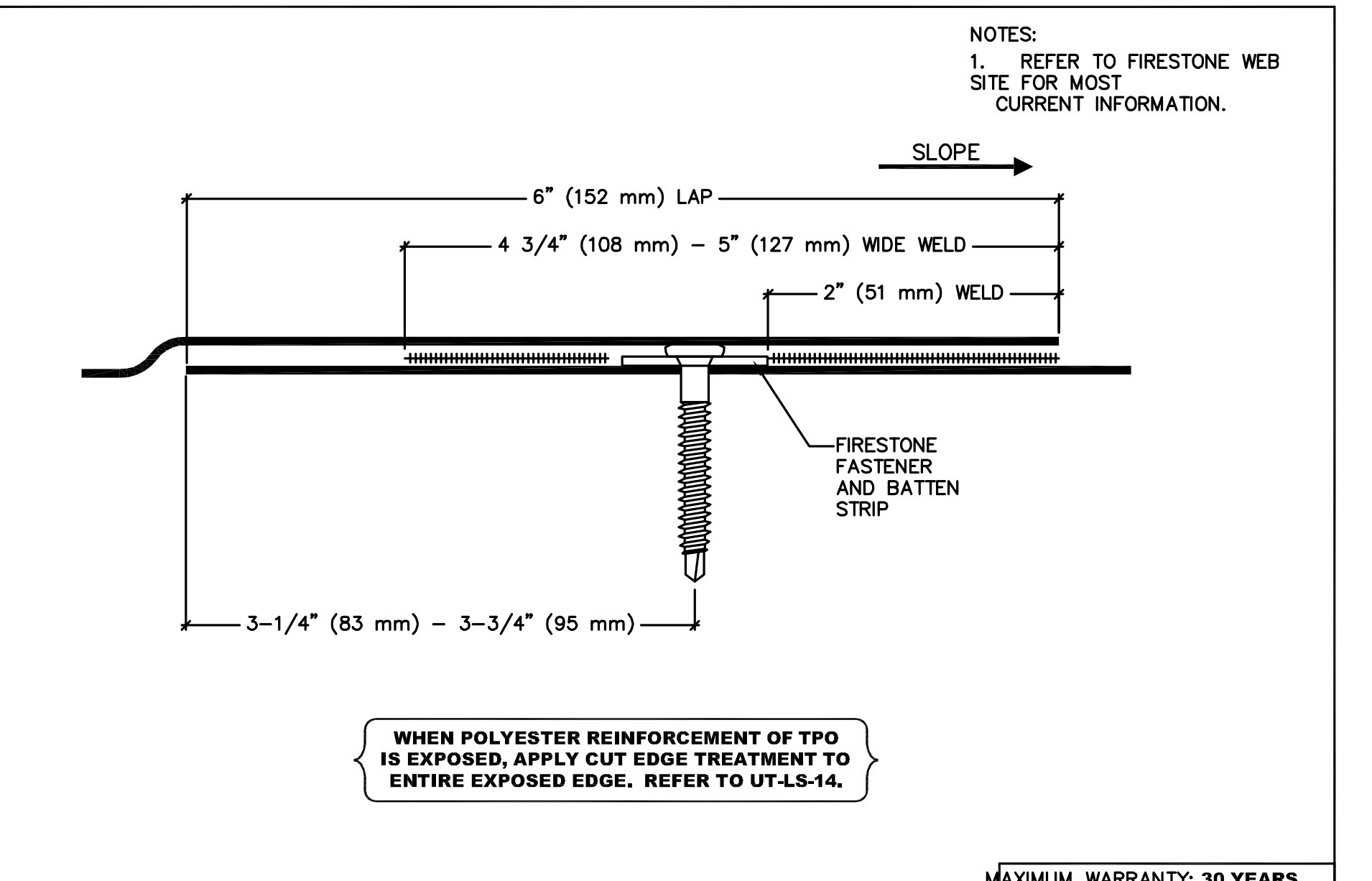
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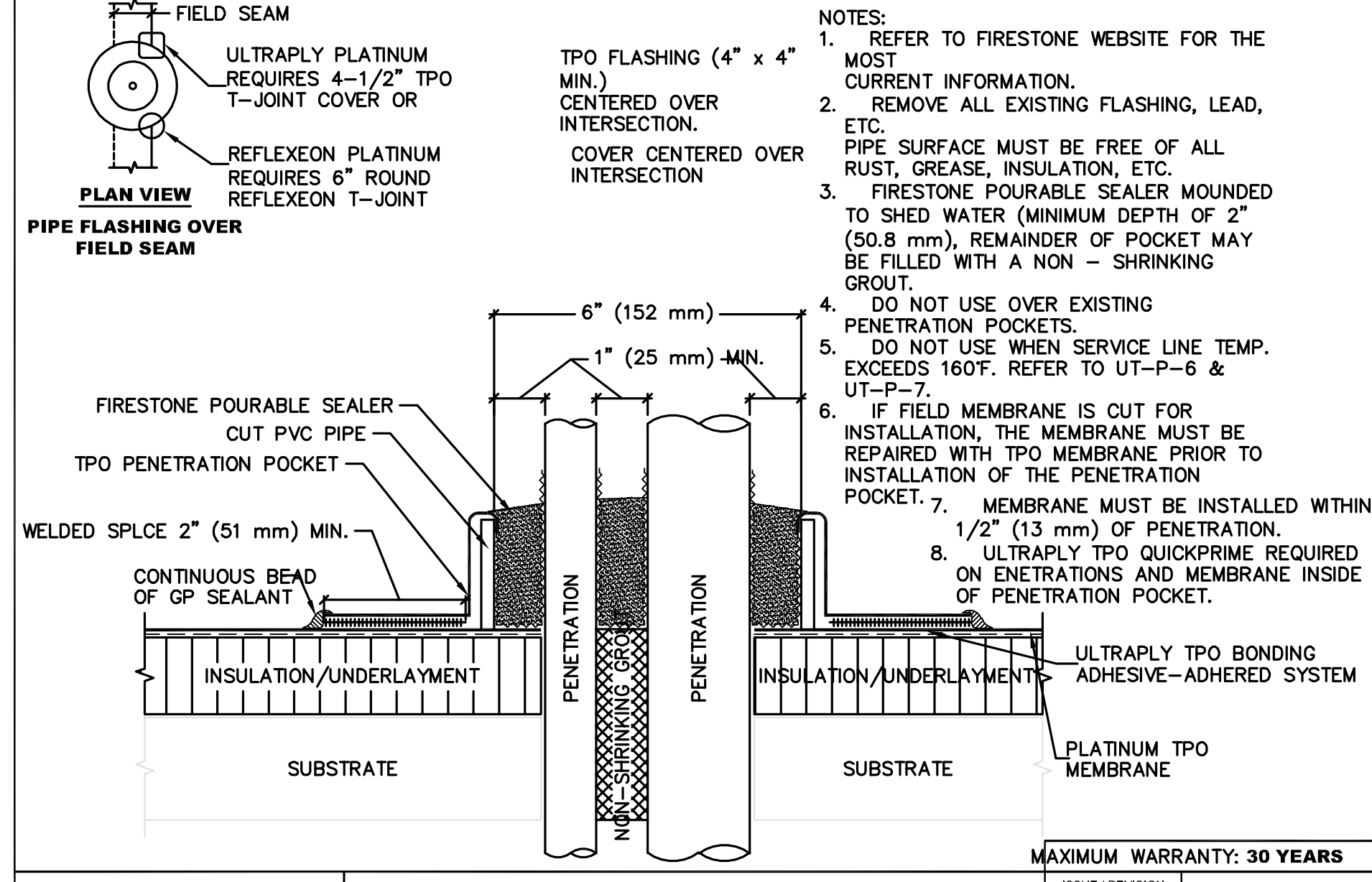
Firestone BUILDING PRODUCTS NOBODY COVERS YOU BETTER. www.firestonebpc.com	THRU-WALL PLATINUM TPO COATED METAL SCUPPER	ISSUE / REVISION DATE: 1/15/2015	DETAIL NO. ROOF-1
	PLATINUM ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	NOT TO SCALE



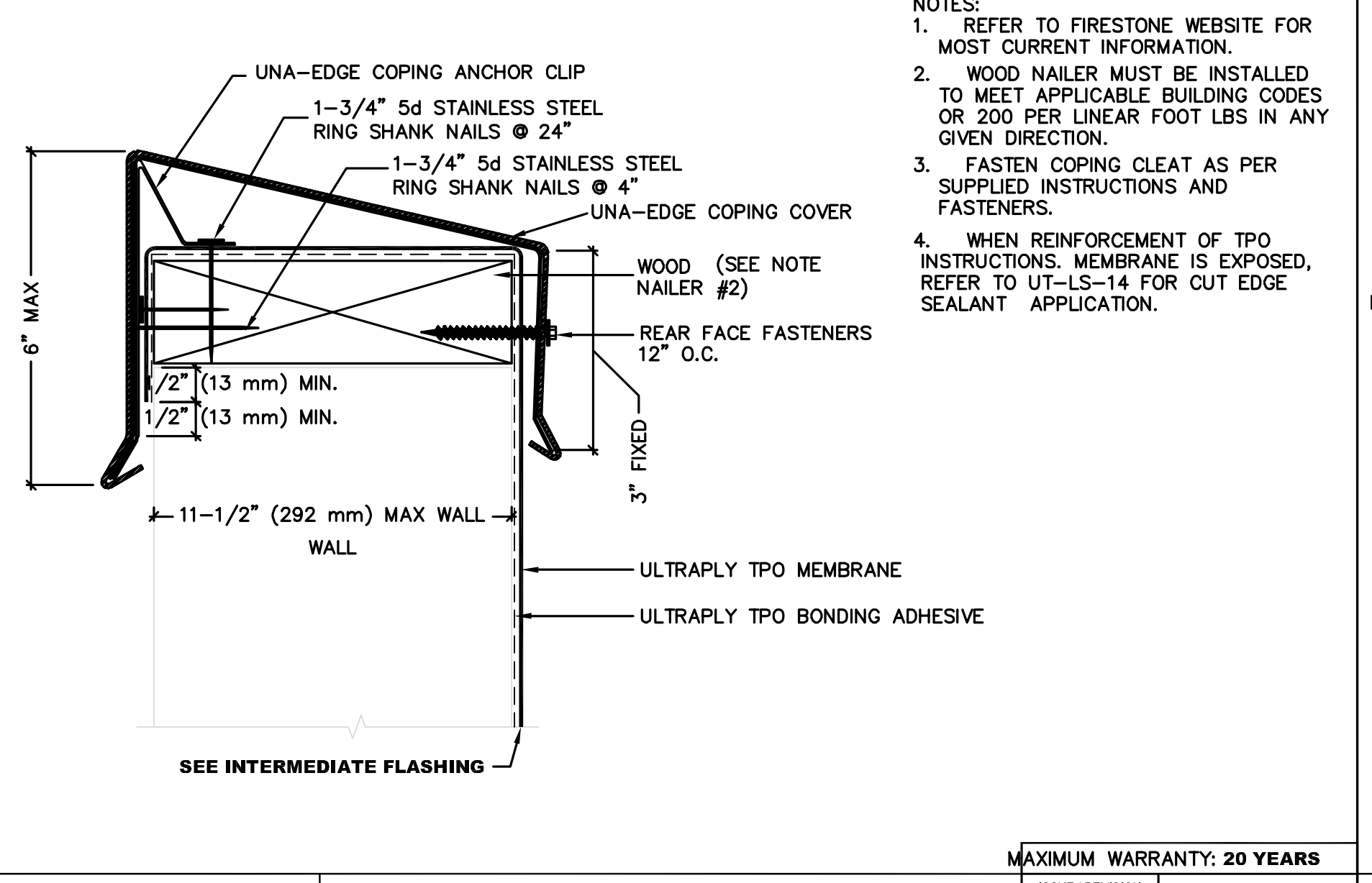
Firestone BUILDING PRODUCTS NOBODY COVERS YOU BETTER. www.firestonebpc.com	OVERFLOW THRU WALL PLATINUM TPO COATED METAL SCUPPER	ISSUE / REVISION DATE: 1/15/2015	DETAIL NO. ROOF-2
	PLATINUM ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	NOT TO SCALE



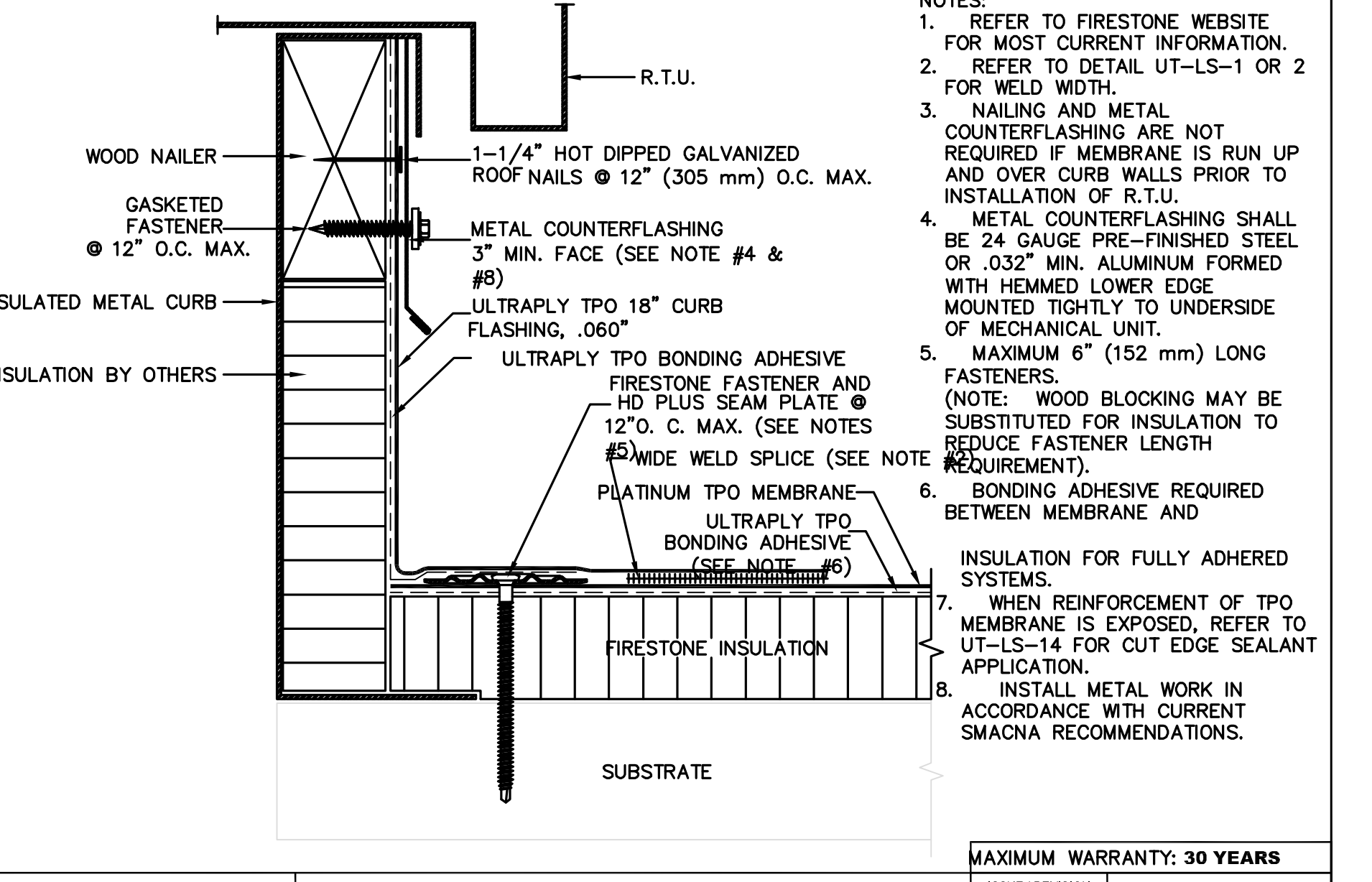
Firestone BUILDING PRODUCTS NOBODY COVERS YOU BETTER. www.firestonebpc.com	LAP SPLICE WITH CONTINUOUS WIDE WELD	ISSUE / REVISION DATE: 1/15/2015	DETAIL NO. ROOF-3
	PLATINUM ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: MAS	NOT TO SCALE



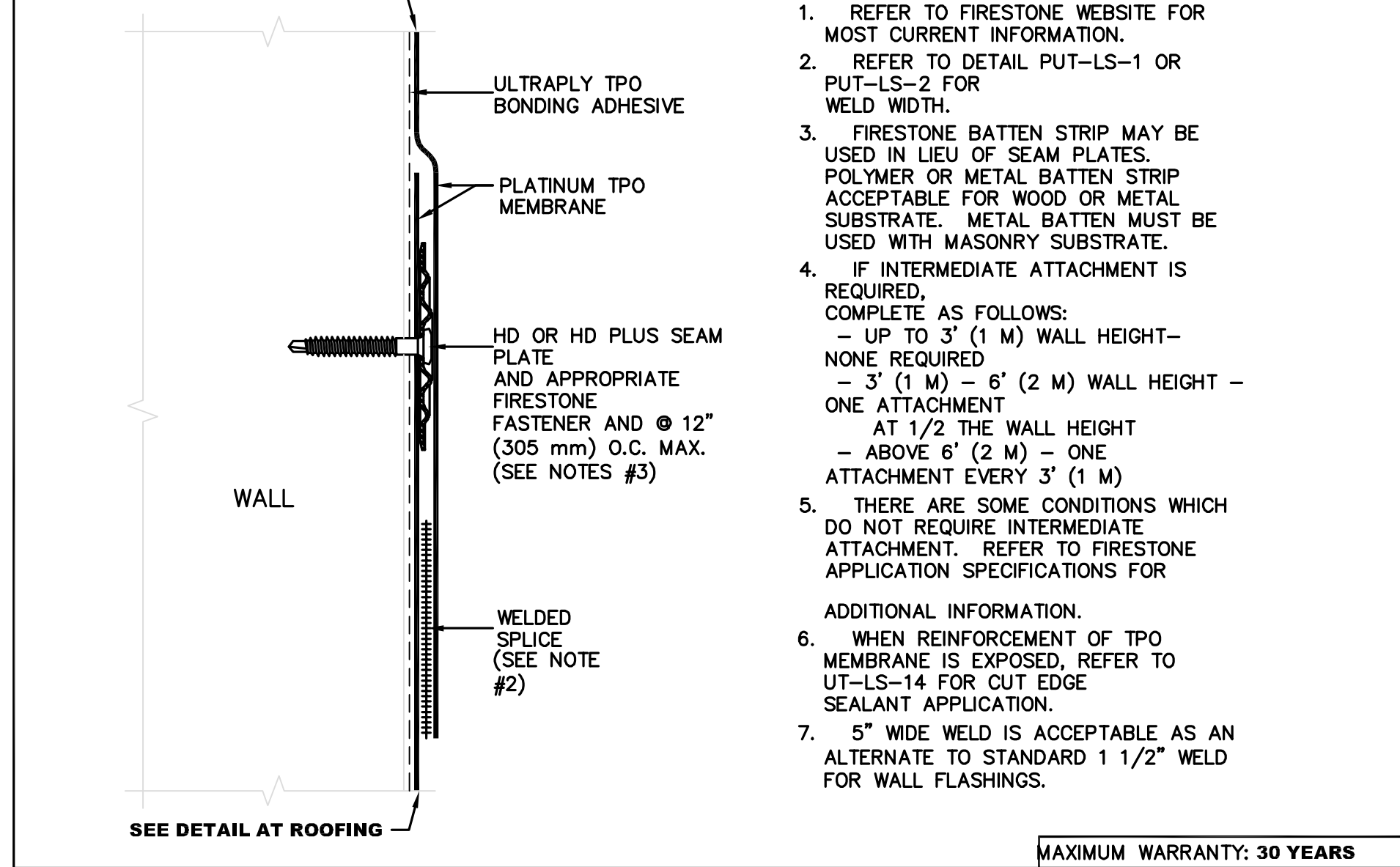
Firestone BUILDING PRODUCTS NOBODY COVERS YOU BETTER. www.firestonebpc.com	PENETRATION WITH TPO PENETRATION POCKET	ISSUE / REVISION DATE: 1/15/2015	DETAIL NO. ROOF-4
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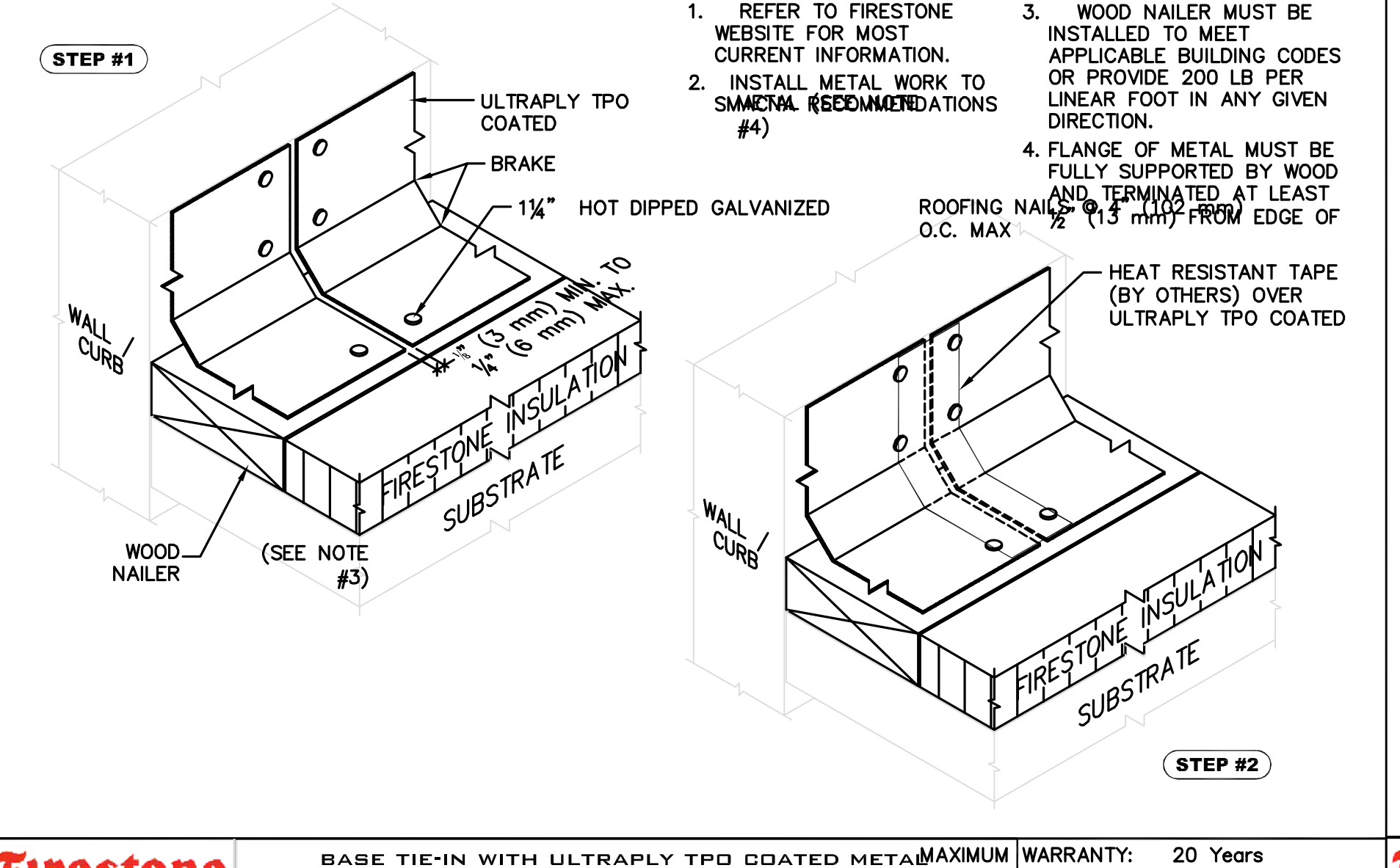
Firestone BUILDING PRODUCTS NOBODY COVERS YOU BETTER. www.firestonebpc.com	TERMINATION AT TOP OF WALL WITH UNA-EDGE COPING	ISSUE / REVISION DATE: 7/22/2014	DETAIL NO. ROOF-5
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	NOT TO SCALE



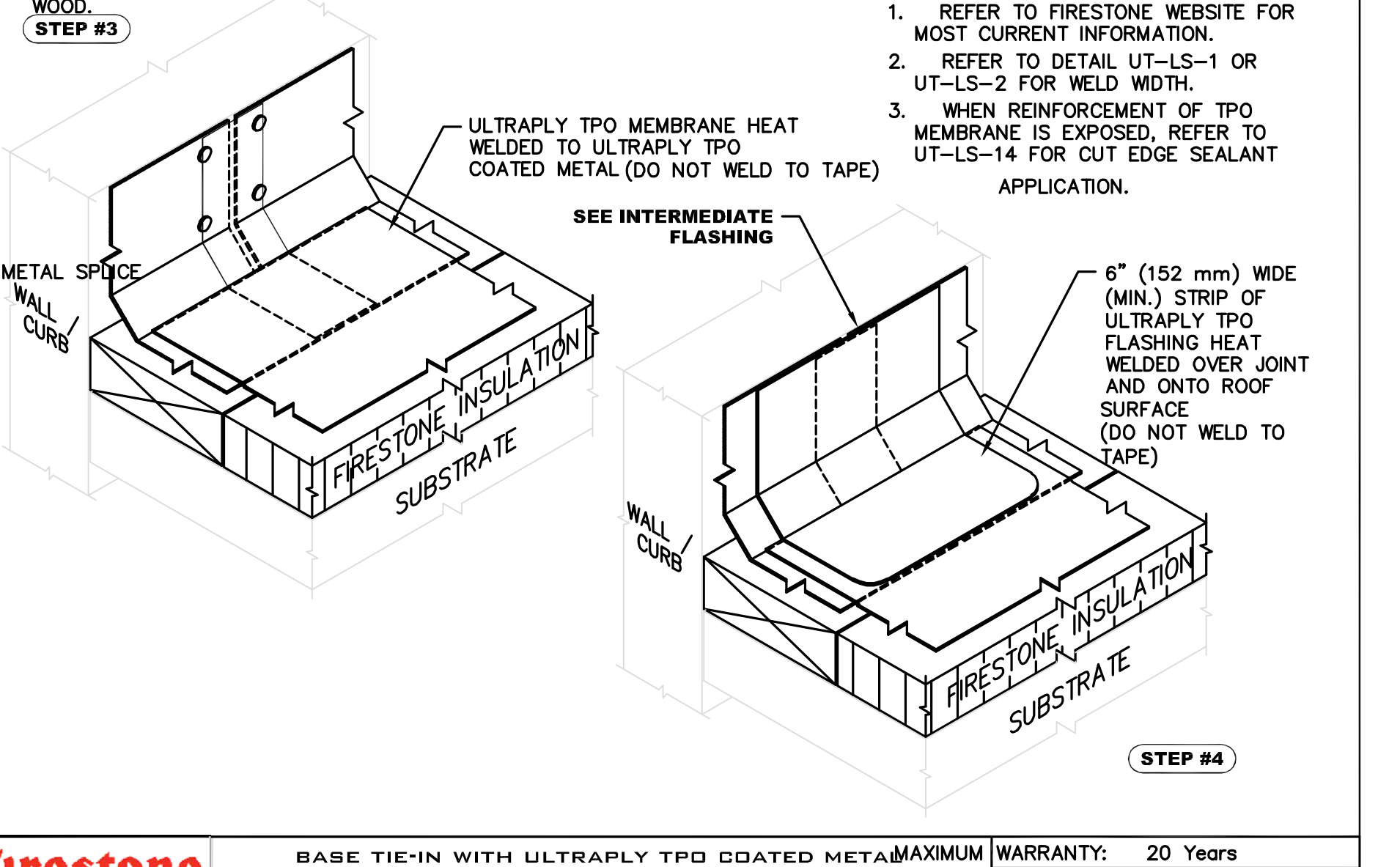
Firestone BUILDING PRODUCTS NOBODY COVERS YOU BETTER. www.firestonebpc.com	TERMINATION AT R.T.U. WITH WELDED SPLICE AND COUNTERFLASHING (UNIT FLANGE MOUNTED TO SUBSTRATE)	ISSUE / REVISION DATE: 1/15/2015	DETAIL NO. ROOF-6
	PLATINUM ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	NOT TO SCALE



Firestone BUILDING PRODUCTS NOBODY COVERS YOU BETTER. www.firestonebpc.com	INTERMEDIATE WALL FLASHING ATTACHMENT WITH WELDED SPLICE	ISSUE / REVISION DATE: 1/15/2015	DETAIL NO. ROOF-7
	PLATINUM ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	NOT TO SCALE



Firestone BUILDING PRODUCTS NOBODY COVERS YOU BETTER. www.firestonebpc.com	BASE TIE-IN WITH ULTRAPLY TPO COATED METAL SCUPPER (WITH BRAKE) SPLICE - INSTALLATION STEPS 1 & 2	ISSUE / REVISION DATE: 3/28/2019	DETAIL NO. ROOF-8
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	NOT TO SCALE

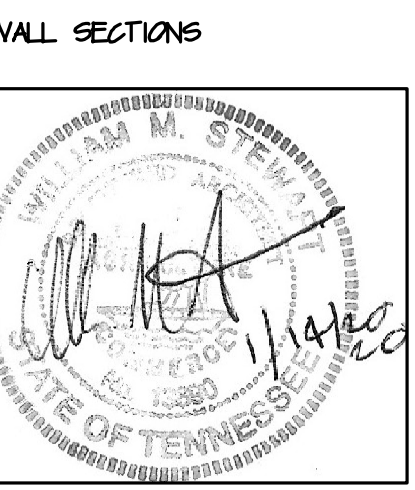


Firestone BUILDING PRODUCTS NOBODY COVERS YOU BETTER. www.firestonebpc.com	BASE TIE-IN WITH ULTRAPLY TPO COATED METAL SCUPPER (WITH BRAKE) SPLICE - INSTALLATION STEPS 3 & 4	ISSUE / REVISION DATE: 3/28/2019	DETAIL NO. ROOF-9
	ULTRAPLY™ TPO	ACCEPTABLE SYSTEMS: ALL	NOT TO SCALE

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SIMMONS
RETAIL CENTER
MURFREESBORO, TENNESSEE



JANUARY 14, 2010
DECEMBER 10, 2017
SCALE: 3/4" = 1'-0"

A3.03